

**BOARD OF TRUSTEES  
VILLAGE OF WARWICK  
MAY 19, 2025  
AGENDA**

**LOCATION:  
VILLAGE HALL  
77 MAIN STREET, WARWICK, NY  
TIME: 7:30 P.M.**

**Call to Order  
Pledge of Allegiance  
Roll Call**

1. Introduction by Mayor Newhard.
2. Acceptance of Minutes: May 5, 2025.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

3. Acceptance of Reports – April 2025: Clerk’s Office, Justice Department, Planning Department, Building Department, and Department of Public Works.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

4. **MOTION** to rescind the motion made on May 5, 2025, approving the Authorization to Payll all Approved and Audited Claims in the amount of \$203,447.96 due to an error in the calculation of the abstract.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

5. **MOTION** to approve the Authorization to Payll all Approved and Audited Claims for the abstract dated May 5, 2025, in the amount of \$204,447.96

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

6. Authorization to Pay all Approved and Audited Claims in the amount of \$\_\_\_\_\_.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

7. Police Report.
8. **Public Hearing on the petition of Vanessa Mann and M&L Equity Auto LLC for adoption of a local law changing the zoning designation of certain real property identified as “Lot 2” in the subdivision of the property located at 42 Orchard Street, Warwick, New York (Tax Map Section 210, Block 11, Lot 5) from Residential (“R”) to Light Industrial (“LI”).**
9. **Public Hearing on a proposed local law entitled “A local law amending Village of Warwick Village Code Chapter 69, ‘Flood Damage Prevention,’ to repeal and re-enact subsection 4.1, entitled ‘Designation Of The Local Administrator’.”**
10. **Public Hearing on a proposed local law entitled “A local law amending Village of Warwick Village Code Chapter 145, ‘Zoning,’ to repeal and re-enact subsection 145-152(L) regarding the duration of variances”.**
11. **Public Hearing on the Proposed Application for the Orange County Community Development Block Grant Program for FY-2026.**

### **Discussion**

1. Village of Warwick Employee Holidays.

### **Public Comment - Agenda Items Only**

### **GUIDELINES FOR PUBLIC COMMENT**

The public may speak only during the meeting's Public Comment period and at any other time a majority of the Board allows. Speakers must be recognized by the presiding officer, step to the front of the room/microphone, give their name, residency, and organization, if any. Speakers must limit their remarks to three minutes (this time limit may be changed to accommodate the number of speakers) and may not yield any remaining time they may have to another speaker. Board members may, with the permission of the mayor, interrupt a speaker during their remarks, but only for the purpose of clarification or information. The Village Board is not required to accept or respond to questions from the public at meetings but may request that inquiries be submitted in writing to be responded to at a later date. All remarks must be addressed to the Board as a body and not to individual Board members. Interested parties or their representatives may also address the Board by written communications.

### **Motions**

#### **Trustee Cheney's Motions**

1. **RESOLUTION SUPPORTING AND CONCURRING IN THE APPLICATION OF THE VILLAGE OF WARWICK THROUGH THE ORANGE COUNTY OPEN SPACE PROTECTION PROGRAM TO PURCHASE PROPERTY LOCATED IN THE VILLAGE OF WARWICK WATERSHED**

**Whereas**, in 2024, the Orange County Legislature appropriated \$1 million to the Orange County Open Space Fund to preserve and protect valuable open space and natural resources throughout the County;

**Whereas**, the Orange County Open Space Fund provides matching grants to villages, towns, cities, qualified not-for-profits, and individual property owners for the purchase of land, development rights, or conservation easements that meet the objectives set forth in the Orange County Open Space Plan;

**Whereas**, the Village has received a Water Quality Improvement Program Grant for Watershed Acquisition from the New York State Department of Environmental Conservation in the amount of \$288,150 and three property owners have expressed an interest to convey, and the Village of Warwick wishes to purchase or obtain a conservation easement over the property, the land located on Cascade Road in the Town of Warwick and listed on the tax map as SBL 64-1-6, 64-1-7, 64-1-8, 64-1-43.

**Whereas**, the Village of Warwick intends to apply to the Orange County Open Space Fund for matching support in the amount of \$96,050 to purchase or obtain conservation easements over the proposed properties;

**NOW THEREFORE, BE IT RESOLVED**, that the Village Board of the Village of Warwick, in its capacity as governing body of the Village, does hereby support and concur in the application by the Village of Warwick for funding to purchase or secure a conservation easement from property owners over his or her lands located on Cascade Road in the Town of Warwick and listed on the tax map as SBL 64-1-6, 64-1-7, 64-1-8, 64-1-43.

\_\_\_\_\_ presented the foregoing resolution which was seconded  
by \_\_\_\_\_,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

2. **MOTION** to rescind the motion made on March 17, 2025, to accept the proposal from RAFA Systems LLC for the purchase of Starlink devices including activation and subscription and a one-year Service Agreement Maintenance Plan at a cost not to exceed \$14,045.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

3. **MOTION** to accept the proposal from RAFA Systems LLC for the purchase of eleven (11) Phoenix EasyCell Kits including activation and subscription and a one-year Service Agreement/ Maintenance Plan at a cost not to exceed \$14,045. Funds are appropriated in budget code codes G8120-4500 and F8320-4550.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

4. **MOTION** to accept the proposal for engineering services from Barton & Loguidice dated May 9, 2025, for additional Grant Administration Services for the Village Watershed Land Acquisition WQIP Round 16 Grant, Contract No. C01163GG, and



authorize the Mayor to sign the amendment to the Master Services Agreement with Barton & Loguidice for a not to exceed amount of \$4,000.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

5. **MOTION** to hire Jack Maxcy to the position of Seasonal Department of Public Works Laborer at 40 hours per week for 16 weeks with a start date to be determined as per the recommendation of DPW Supervisor, Michael Moser. Salary will be based on the FY24-25 & FY25-26 budget.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

6. **MOTION** to hire Cameron Kellan to the position of Village of Warwick Engineering Intern at 32.5 hours per week for approximately twelve (12) weeks with a start date of May 21, 2025. The rate of pay to be in accordance with the FY24-25 and FY25-26 budget.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

7. **MOTION** to accept the bid from Slack Chemical for the delivery of PACl, Sodium Hydroxide (Caustic Beads), Sodium Hydroxide (Liquid Caustic 25%), Sodium Permanganate (Liquid 20%), and Citric Acid (Liquid 50%), as per the recommendation of H2O Innovation Senior Area Manager, Michael Herbert. The contract period will be June 1, 2025, to May 31, 2026.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

8. **MOTION** to accept the quote from Clean Waters Inc. for the delivery of Charge-Pack 282 Polymer (Liquid) as per the recommendation of H2O Innovation Senior Area Manager, Michael Herbert. The contract period will be June 1, 2025, to May 31, 2026.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

9. **MOTION** to accept the bid from Amrex Chemical Co. for the delivery of Sodium Hypochlorite (Liquid 12.5%) and Sodium Bisulfite 38%, as per the recommendation of H2O Innovation Senior Area Manager, Michael Herbert. The contract period will be June 1, 2025, to May 31, 2026.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

10. **MOTION** to accept the bid from Coyne Chemical for the delivery of Blended Ortho Phosphate and Potassium Permanganate, as per the recommendation of H2O Innovation Senior Area Manager, Michael Herbert. The contract period will be June 1, 2025, to May 31, 2026.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_  
Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

#### **Trustee Foster's Motions**

#### **11. Resolution To Fund the Village of Warwick Veterans Memorial Park Master Plan Patriot's Path & Related Improvements Project**

WHEREAS, the Village Board of the Village of Warwick has undertaken and approved a project for the Village of Warwick Veterans Memorial Park Master Plan Patriot's Path & Related Improvements Project  
; and

WHEREAS, the estimated cost of the said project is \$734,500; and

WHEREAS, the Village Board of the of Warwick proposes to pay for the said project with Local Community Assistance Program (LoCAP) grant funds to the extent of \$734,500.

NOW, THEREFORE, it is hereby resolved as follows:

1. That the Village Board approves the aforesaid expenditure of funds from the said sources for the Village of Warwick Veterans Memorial Park Master Plan Patriot's Path & Related Improvements Project; and

2. That the Village Mayor is authorized to sign all documents necessary to carry of the terms hereof.

\_\_\_\_\_ presented the foregoing resolution which was seconded  
by \_\_\_\_\_,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

**12. FY-2026 ORANGE URBAN COUNTY CONSORTIUM COMMUNITY  
DEVELOPMENT PROGRAM GOVERNING BODY AUTHORIZING  
RESOLUTION –**

**(Project Name)**

The Village of Warwick is hereby submitting its Application for consideration under the FY-2026 Orange CDBG Urban County Consortium Community Development Program and the chief elected official or executive officer is hereby authorized to submit this Application for \_\_\_\_\_ (Project Name) as described in the proposal. Input from citizens and groups has been received and considered and an application has been prepared which addresses their community concerns. They further certify that they have read and understood the Orange CDBG Urban County Consortium Community Development Guidelines for the FY-2026 program year and have met all of its applicable requirements and that the information contained in the Application is accurate and true to the best of their knowledge. If

awarded CDBG funds, the Municipality shall implement the activities in a manner to ensure compliance with all applicable federal, state, and local laws and regulations.

\_\_\_\_\_ presented the foregoing resolution which was seconded by

\_\_\_\_\_

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

13. **MOTION** to authorize the destruction of 72 boxes of records as detailed in the attached Listing of Records Eligible for Destruction created by Gallego Information Services in accordance with the New York State Records Retention and Disposition Schedule LGS-1 and as part of the awarded 2024 Local Government Records Management Improvement Fund (LGRMIF) Records Inventory project. The approximate cost of destruction by NYSID Preferred Source Vendor, ProShred/VRC Companies, LLC, will be \$462.45. Funds are appropriated in FY2024-25 budget code A1410-4950 and will be reimbursed through the LGRMIF grant award.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

14. **MOTION** to authorize the destruction of 33 boxes of records as listed in the attached Listing of Records Eligible for Destruction in accordance with the New York State Records Retention and Disposition Schedule LGS-1 as part of the Village of Warwick Records Management Plan. The approximate cost of destruction by NYSID Preferred Source Vendor, ProShred/VRC Companies, LLC will be \$199.65. Funds are appropriated in FY2024-25 budget code A1410-4950.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

15. **MOTION** to increase the hourly rates for the Village of Warwick Recreation Program Directors and Health Directors to \$20.00 per hour and Assistant Program Directors to \$15.00 per hour for FY2025-26.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

16. **MOTION** to grant permission to close Park Avenue between Galloway Road and Burt Street on Thursday, May 22, 2025, from 4:00 p.m. to 7:00 p.m., for the benefit of the Park Avenue Elementary Warrior Course Event.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

17. **MOTION** to grant permission to Park Avenue Elementary School to hold a kindergarten class picnic in Stanley-Deming Park on Thursday, June 12, 2025, between 10:30 a.m. to 2:00 p.m., with a rain date of Tuesday, June 17, 2025. Request includes use of restrooms. Completed park permit and proof of insurance have been received.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

18. **MOTION** to grant permission to Christ Church to use the baseball field at Stanley-Deming Park for a kickball game on Wednesday, June 11, 2025, from 5:00 p.m. to 8:00 p.m. Completed park permit, proof of insurance, and security deposit have been received.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

**Trustee Collura's Motions**

19. **MOTION** to close Village Hall on Thursday, June 19, 2025, in observance of the Federal holiday Juneteenth.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

20. **MOTION** to approve the budget modification request for certain FY2024-25 budget account lines as per the Village Treasurer's memo dated May 19, 2025.

The vote on the foregoing **motion** was as follows:

Trustee Cheney \_\_\_\_ Trustee Foster \_\_\_\_ Trustee Collura \_\_\_\_

Trustee McKnight \_\_\_\_ Mayor Newhard \_\_\_\_

**Trustee McKnight's Motions**

21. **RESOLUTION ADOPTING NEGATIVE DECLARATION UNDER SEQRA**

WHEREAS, the Village Board of the Village of Warwick has before it a draft local law entitled "A local law to amend Village Code Chapter 145 entitled 'Zoning' to change the zoning designation of certain real property located at 42 Orchard Street from Residential ('R') to Light Industrial ('LI')"; and

WHEREAS, this is an action subject to SEQRA; and

WHEREAS, the Village Board as Lead Agency in an uncoordinated review has prepared and approved an Environmental Assessment Form ("EAF") and has caused to be prepared an EAF Part II and Part III: and

WHEREAS, following due notice the Village Board has conducted a public hearing on the said proposed local law and heard all persons interested in the subject matter thereof;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. That the Village Board adopts Part II and Part III of the EAF and authorizes the Mayor to sign the same, and
2. That after considering all of the information presented to it including the EAF, the Village Board adopts the Negative Declaration attached hereto.

\_\_\_\_\_ presented the foregoing resolution which was seconded by \_\_\_\_\_,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

**22. RESOLUTION ADOPTING A LOCAL LAW  
GRANTING A PETITION FOR A ZONING CHANGE**

WHEREAS, the Village Board has before it a proposed local law entitled: “A local law to amend Town Code Chapter 145 entitled ‘Zoning’ to change the zoning designation of certain real property located at 42 Orchard Street from Residential (‘R’) to Light Industrial (‘LI’); and

WHEREAS, a Negative Declaration under the New York State Environmental Quality Review Act has been adopted in regard to the proposed local law; and

WHEREAS, all referrals required by law have been made upon the proposed local law;  
and

WHEREAS, following due notice the Village Board held a public hearing on the  
proposed local law;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. That the Village Board hereby adopts the local law; and
2. That the local law shall be effective immediately and shall be filed in the office of  
the Secretary of State in Albany as required by applicable law.

\_\_\_\_\_ presented the foregoing resolution which was  
seconded by \_\_\_\_\_,

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

**23. RESOLUTION ADOPTING VILLAGE OF WARWICK**  
**LOCAL LAW NO. OF 2025**

WHEREAS, the Village Board has before it entitled “A local law amending Village of  
Warwick Village Code Chapter 69, ‘Flood Damage Prevention,’ to repeal and re-enact  
subsection 4.1, entitled ‘Designation Of The Local Administrator’”; and

WHEREAS, following due notice the Village Board held a public hearing on the  
proposed local law; and

WHEREAS, the proposed local law is a Type II Action under SEQRA; and

WHEREAS, the Village Boad has made all necessary referrals;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. That the Village Board does hereby adopt the proposed local law;



2. That the said local law shall take effect upon filing of the same in the Office of the Secretary of State in Albany.

\_\_\_\_\_ presented the foregoing resolution which was seconded by \_\_\_\_\_,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

**24. Resolution Amending Schedule of Fees to the Building Department**

WHEREAS, Village of Warwick Code §64-1 provides that a comprehensive schedule of fees, including Building Department fees, be approved by the Village Board; and

WHEREAS, in order to amend the Village's Schedule of Fees to change the Building Department fees it is necessary for the Village Board to adopt a resolution; and

NOW, THEREFORE, BE IT RESOLVED that the Village's Schedule of Fees is hereby amended as follows:

In the Schedule of Fees, under heading "Building Department" the following fees shall be added:

Category	Sub-Category	Type of Fee	Amount	Code Section
Building Department		Flood Plain Permit	\$500.00	69 4.2-2

		Application Fee		
Building Department		Flood Plain Escrow Deposit	\$1,000.00	69 4.2-2

\_\_\_\_\_ presented the foregoing resolution which was seconded  
by \_\_\_\_\_,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

**25. RESOLUTION MAKING A NEGATIVE DECLARATION UNDER SEQRA  
ON A LOCAL LAW REPEALING AND RE-ENACTING ZONING CODE § 145-152(L)**

WHEREAS, the Village Board of the Village of Warwick has before it a proposed local law repealing and re-enacting Zoning Code § 145-152(L); and

WHEREAS, the proposed local law is an action subject to SEQRA, and

WHEREAS, the Village Board as Lead Agency has caused to be prepared an Environmental Assessment Form ("EAF"), including Parts I, II and III; and

WHEREAS, following due notice the Village Board has conducted a public hearing on the proposed local law and heard all persons interested in the subject matter thereof; and

WHEREAS, the Village Board, as assisted by its consultants, has considered the potential environmental impacts of the proposed action;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. That the Village Board accepts and approves the said EAF Parts I, II and III and the Mayor is hereby authorized to sign the same; and
2. That after considering all of the information presented to it, including the EAF, the Village Board adopts the Negative Declaration attached hereto.

\_\_\_\_\_ presented the foregoing resolution which was  
seconded by \_\_\_\_\_,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting	_____
Carly Foster, Trustee, voting	_____
Thomas McKnight, Trustee, voting	_____
Mary Collura, Trustee, voting	_____
Michael Newhard, Mayor, voting	_____

**26. RESOLUTION ADOPTING VILLAGE OF WARWICK  
LOCAL LAW NO.    OF 2025**

WHEREAS, the Village Board has before it entitled “A local law amending Village of Warwick Village Code Chapter 145, ‘Zoning,’ to repeal and re-enact subsection 145-152(L) regarding the duration of approvals issued by the Village Zoning Board of Appeals”; and

WHEREAS, following due notice the Village Board held a public hearing on the proposed local law; and

WHEREAS, the Village has completed SEQRA Review and made all necessary referrals;

NOW, THEREFORE, BE IT RESOLVED as follows:

1. That the Village Board does hereby adopt the proposed local law;
2. That the said local law shall take effect upon filing of the same in the Office of the Secretary of State in Albany.

\_\_\_\_\_ presented the foregoing resolution which was  
seconded by \_\_\_\_\_,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

### **Reports**

**Trustee Cheney's Report:** Liaison to Public Works Operations, Engineering and Infrastructure Projects, Veterans, Code Enforcement / Building Department, Emergency Services, Citizens Awareness Panel/Jones Chemical. Alternate liaison to Economic Development, Transportation & Mobility.

**Trustee Foster's Report:** Liaison to Office of the Clerk, Parks & Recreation, Economic Development & Tourism, Warwick Valley Schools, Shade Tree Commission, Transportation & Mobility. Alternate liaison to Youth / WYDO / Warwick Valley Community Center / Warwick Valley Prevention Coalition, Engineering and Infrastructure Projects, Planning & Zoning / AHDRB / OC Planning, Government Efficiency / Policy Development, Summer Concert Series.

**Trustee Collura's Report:** Liaison to Office of the Treasurer, Youth / WYDO / Warwick Valley Community Center / Warwick Valley Prevention Coalition, Public Health, Historical Society, Public Interface and Outreach, Senior Citizens, Ethics, Summer Concert Series. Alternate liaison to Parks & Recreation, Environmental, Veterans.

**Trustee McKnight's Report:** Liaison to Planning & Zoning / AHDRB / OC Planning, Environmental, Albert Wisner Library, Town of Warwick Police Department, Technology Oversight / Cybersecurity, Safety Committee. Alternate liaison to Public Works Operations, Code Enforcement / Building Department, Emergency Services.

### **Mayor Newhard's Report**

### **Public Comment – *Non-Agenda Items***

### **Final Comments from the Board**

### **Executive Session, if applicable**

### **Adjournment**

**BOARD OF TRUSTEES  
VILLAGE OF WARWICK  
MAY 19, 2025  
ADDENDUM NO. 1**

**27. Resolution Amending Schedule of Fees  
to Amend Certain Water Fees**

WHEREAS, Village of Warwick Code §64-1 provides that a comprehensive schedule of fees, including water system operations, be approved by the Village Board; and  
  
; and

WHEREAS, in order to amend the Village's Schedule of Fees to change the Building Department fees it is necessary for the Village Board to adopt a resolution; and

NOW, THEREFORE, BE IT RESOLVED that the Village's Schedule of Fees is hereby amended as follows:

In the Schedule of Fees, under heading “Building Department” the following fees shall be deleted:

Category	Sub-Category	Type of Fee	Amount	Code
Water	Rents for standby water pressure for sprinkler systems, per year	Service pipe less than 8 inches in diameter	\$80.00	141-35
Water	Rents for standby water pressure for sprinkler systems, per year	Service pipe 8 inches in diameter and over	\$100.00	141-35

In the Schedule of Fees, under heading “Water” the following fees shall be added:

Category	Sub-Category	Type of Fee	Amount	Code
Water	Fire Sprinkler Systems	Rents for standby water pressure for fire sprinkler systems, per quarter	\$25.00	141-35

\_\_\_\_\_ presented the foregoing resolution which  
was seconded by \_\_\_\_\_,

The vote on the foregoing resolution was as follows:

Barry Cheney, Trustee, voting \_\_\_\_\_

Carly Foster, Trustee, voting \_\_\_\_\_

Thomas McKnight, Trustee, voting \_\_\_\_\_

Mary Collura, Trustee, voting \_\_\_\_\_

Michael Newhard, Mayor, voting \_\_\_\_\_

77 Main Street  
Post Office Box 369  
Warwick, NY 10990  
www.villageofwarwick.org



(845) 986-2031  
FAX (845) 986-6884  
mayor@villageofwarwick.org  
clerk@villageofwarwick.org

VILLAGE OF WARWICK  
INCORPORATED 1867

May 7, 2025

Mayor Michael Newhard  
Village Board of Trustees  
77 Main St.  
Warwick, NY 10990

RE: Voucher Abstract 5/5/2025

After reviewing the voucher abstract from the 5/5/2025 meeting, Deputy Treasurer, Denise Bulnes realized the total calculation was incorrect.

I have put together the motions below to correct the issue.

MOTION to rescind the motion made on May 5, 2025, approving the Authorization to Pay all Approved and Audited Claims in the amount of \$203,447.96 due to an error in the calculation of the abstract.

MOTION to approve the Authorization to Pay all Approved and Audited Claims for the abstract dated May 5, 2025, in the amount of \$204,447.96.

Best Regards,

Sadie Andryshak  
Village Treasurer

77 Main Street  
Post Office Box 369  
Warwick, NY 10990  
[www.villageofwarwick.org](http://www.villageofwarwick.org)



(845) 986-2031  
FAX (845) 986-6884  
[mayor@villageofwarwick.org](mailto:mayor@villageofwarwick.org)  
[clerk@villageofwarwick.org](mailto:clerk@villageofwarwick.org)

## VILLAGE OF WARWICK

INCORPORATED 1867

Regular Meeting Date: May 5, 2025

Village of Warwick

Board of Trustees

The following abstracts are hereby submitted for approval:

••0••	Prepaid/Preapproved Vouchers 24/25	\$ 1,450.00
	Prepaid Vouchers 24/25	\$ 3,428.00
1,450• +	Prepaid Vouchers 24/25	\$ 58.47
3,428• +	Prepaid Vouchers 24/25	\$ 150.00
58•47 +	Prepaid Vouchers 24/25	\$ 310.78
150• +	Prepaid Vouchers 24/25	\$ 481.77
310•78 +	Prepaid Vouchers 24/25	\$ 27,424.06
481•77 +	Prepaid Vouchers 24/25	\$ 697.92
27,424•06 +	Vouchers 24/25	\$ 128,640.06
697•92 +	Vouchers 24/25	\$ 38,806.90
128,640•06 +	Vouchers 24/25	\$ 2,000.00
38,806•9 +	Escrow Vouchers	Not Part of Audit #
2,000• +	Vouchers for Payroll	Not Part of Audit #
203,447•96 *	Vouchers for Payroll	Not Part of Audit #
	<b>Total Abstracts for Approval 5/05/25</b>	<b>\$ 203,447.96</b>

Sh/be # 39,806<sup>90</sup>

203,447<sup>96</sup>

0• \*

Respectfully submitted,

0• \*

*Denise Bulnes*  
Denise Bulnes  
Deputy Treasurer

I, Jennifer Mante <sup>Deputy</sup> Village Clerk of the Village of Warwick, the County of Orange, State of New York, HEREBY CERTIFY that the above total abstract was approved at a regular meeting of the Village Board of the Board of the Village of Warwick duly called and held on May 5, 2025 and has been compared by me with the original minutes as officially recorded in the Village Clerk's Office in the Minute Book of the Village Board and is a true, complete and correct copy thereof and of the whole of said original minutes so far as the same relate to the subject matter.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the corporate seal of the Village of Warwick this 6<sup>th</sup> day of May 2025

*Jennifer Mante*  
Name & Title

SEAL



April 30, 2025  
10:34 AM

*Mary Calkin*

*Samuel*

*THU*

VILLAGE OF WARWICK  
Purchase Order Listing By P.O. Number

Meeting 5/5/25

DPW05

Page No: 1

**\$ 38,806.90**

P.O. Type: All  
Range: First to Last  
Format: Detail without Line Item Notes  
Vendors: All  
Rcvd Batch Id Range: DPW05 to DPW05

Open: N  
Rcvd: Y  
Bid: Y  
State: Y  
Other: Y  
Exempt: Y  
\* Means Prior Year Line

First Enc Date Range: First to 05/31/25  
Include Non-Budgeted: Y  
Prior Year Only: N

PO #	PO Date	Vendor	Amount	Charge Account	Contract PO Type	Stat/Chk	First Rcvd	Chk/Void	Invoice
Item Description					Acct Type Description		Enc Date Date	Date	
25000184	06/03/24	READYREF READY REFRESH BY NESTLE			B				
11 March Service			19.99	A-1640-4650	E Central Garage - Special Dept Supp	R	07/05/24	05/06/25	15c0438313728
12 April Service			217.85	A-1640-4650	E Central Garage - Special Dept Supp	R	07/05/24	05/06/25	15d0438313728
			237.84						
25001796	04/25/25	JOSEPHWA JOSEPH WARREN ELECTRICAL							
1 VH Office Relocation/Electric			4,390.00	A-1620-4950	E Village Hall - Special Projects	R	04/25/25	05/06/25	
25001797	04/25/25	BRAYP005 BRAY PROCESS CONTROL NORTHEAST							
1 WTP Repairs			810.00	F-8330-4400	E Purification - Repairs	R	04/25/25	05/06/25	220/65035404
25001804	04/25/25	USABLU50 USA BLUE BOOK							
1 WWTP Maintenance Supplies			634.91	G-8120-4650	E Sewers - Spec Dept Supplies	R	04/25/25	05/06/25	676224
2 WWTP Maintenance Supplies			297.90	G-8120-4650	E Sewers - Spec Dept Supplies	R	04/25/25	05/06/25	676400
			932.81						
25001805	04/25/25	USABLU50 USA BLUE BOOK							
1 Water Line Maint. Supplies			26.79	F-8340-4550	E Trans/Dist - Water Line Repairs	R	04/25/25	05/06/25	676557
2 Water Line Maint. Supplies			370.03	F-8340-4550	E Trans/Dist - Water Line Repairs	R	04/25/25	05/06/25	676328
			396.82						
25001806	04/25/25	KETCHAM KETCHAM FENCING INC.							
1 Memorial Park Fencing			5,195.00	A-7140-4900	E Parks - Special Projects	R	04/25/25	05/06/25	65854
25001807	04/25/25	ULINE005 ULINE							
1 Message Center/ Kayak Project			2,685.00	A-7140-4900	E Parks - Special Projects	R	04/25/25	05/06/25	191520933
Tracking Id: KAYAK		KAYAK LAUNCH PROJECT							
2 Freight			125.55	A-7140-4900	E Parks - Special Projects	R	04/25/25	05/06/25	191520933
Tracking Id: KAYAK		KAYAK LAUNCH PROJECT							
			2,810.55						
25001808	04/25/25	WWGRAI50 W W GRAINGER, INC							
1 WWTP Maint. Supplies			525.48	G-8120-4650	E Sewers - Spec Dept Supplies	R	04/25/25	05/06/25	9462601288

April 30, 2025  
10:34 AM

VILLAGE OF WARWICK  
Purchase Order Listing By P.O. Number

Page No: 3

PO #	PO Date	Vendor	Amount	Charge Account	Contract PO Type	Stat/Chk	First Rcvd Enc Date Date	Chk/Void Date	Invoice
Item Description					Acct Type Description				
25001817	04/25/25	SCHMID50 SCHMIDT'S WHOLESALE, INC.							
1 Skatepark Drainage Project			880.88	A-8140-4400	E Storm Sewer/Drainage - Drainage Projects	R	04/25/25 05/06/25		A170292
25001818	04/25/25	WINWATER WINWATER							
1 Skatepark Drainage Project			751.57	A-8140-4400	E Storm Sewer/Drainage - Drainage Projects	R	04/25/25 05/06/25		215188 01
25001819	04/25/25	AMERIO05 AMERICAN FLAGPOLE & FLAG CO							
1 Flag Purchase			52.75	A-7550-4950	E CULTURE/CELEBRATIONS/EVENTS	R	04/25/25 05/06/25		198327
25001830	04/29/25	WADES050 WADESON HOME CENTER INC							
1 VH Renovations			230.85	A-1620-4950	E Village Hall - Special Projects	R	04/29/25 05/06/25		MARCH2025
2 Pole Barn Project			268.77	A-1640-4950	E Central Garage - Other	R	04/29/25 05/06/25		MARCH2025
3 Park Maint. Supplies			313.88	A-7140-4900	E Parks - Special Projects	R	04/29/25 05/06/25		MARCH2025
4 Street Maint Supplies			35.48	A-5110-4530	E Streets - Maintenance Supplies	R	04/29/25 05/06/25		MARCH2025
5 Sewer Spec Dept Supply			555.38	G-8120-4650	E Sewers - Spec Dept Supplies	R	04/29/25 05/06/25		MARCH2025
6 Purification Spec Dept Supply			52.99	F-8330-4650	E Purification - Spec Dept Supplies	R	04/29/25 05/06/25		MARCH2025
7 Street Patch			902.00	A-5110-4920	E Streets - Street Patch	R	04/29/25 05/06/25		MARCH2025
8 Credit			27.06	A-1640-4950	E Central Garage - Other	R	04/29/25 05/06/25		MARCH2025
			2,332.29						
25001833	04/29/25	AMREX005 AMREX CHEMICAL CO INC							
1 Hypochlorite 15%			199.50	F-8330-4970	E Purification - Chemicals	R	04/29/25 05/06/25		259315
2 Hypochlorite 15%			370.50	F-8330-4970	E Purification - Chemicals	R	04/29/25 05/06/25		259313
3 Hypochlorite 15%			1,425.00	G-8120-4970	E Sewers - Chemicals	R	04/29/25 05/06/25		259314
4 Sodium Bisulfite			920.79	G-8120-4970	E Sewers - Chemicals	R	04/29/25 05/06/25		259314
			2,915.79						
25001841	04/29/25	SLACKCHE SLACK CHEMICAL CO., INC.							
1 SternPAC 70			3,894.00	F-8330-4970	E Purification - Chemicals	R	04/29/25 05/06/25		485311
25001842	04/29/25	MIKESMOB MIKE'S MOBIL MAINTENANCE, LLC							
1 Sheffield PRV Valve			2,585.00	F-8340-4550	E Trans/Dist - Water Line Repairs	R	04/29/25 05/06/25		25-025
25001847	04/29/25	KUIKEN50 KUIKEN BROS CO INC							
1 Hydrant Repairs			30.04	F-8340-4650	E Trans/Dist - Hydrants Repairs/Maint	R	04/29/25 05/06/25		APRIL2025
2 Park Maint. Supplies			174.92	A-7140-4650	E Parks - Spec Dept Supply	R	04/29/25 05/06/25		APRIL2025
			204.96						

April 30, 2025  
10:34 AM

VILLAGE OF WARWICK  
Purchase Order Listing By P.O. Number

Page No: 5

Totals by Year-Fund					
Fund Description	Fund	Expend Total	Revenue Total	G/L Total	Total
GENERAL FUND	5-A	26,097.60	0.00	0.00	26,097.60
Water Fund	5-F	9,061.30	0.00	0.00	9,061.30
Sewer Fund	5-G	4,648.00	0.00	0.00	4,648.00
Total of All Funds:		39,806.90	0.00	0.00	39,806.90

77 Main Street  
Post Office Box 369  
Warwick, NY 10990  
www.villageofwarwick.org



(845) 986-2031  
FAX (845) 986-6884  
mayor@villageofwarwick.org  
clerk@villageofwarwick.org

# VILLAGE OF WARWICK

INCORPORATED 1867

## VILLAGE OF WARWICK

### VILLAGE BOARD

### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a PUBLIC HEARING will be held by the Village Board of the Village of Warwick at Village Hall, 77 Main Street, Warwick, New York 10990 on the 19<sup>th</sup> day of May 2025 at 7:30 p.m. or as soon thereafter as the matter can be heard on the petition of Vanessa Mann and M&L Equity Auto LLC for adoption of a local law changing the zoning designation of certain real property identified as "Lot 2" in the subdivision of the property located at 42 Orchard Street, Warwick, New York (Tax Map Section 210, Block 11, Lot 5) from Residential ("R") to Light Industrial ("LI").

The Village Board will at the above-stated date, time and place hear all persons interested in the subject matter hereof. Persons may appear in person or by agent. All written communications addressed to the Village Board must be received by the Village Board at or prior to the public hearing.

BY ORDER OF THE VILLAGE BOARD  
VILLAGE OF WARWICK  
RAINA ABRAMSON  
VILLAGE CLERK

Dated: March 28, 2025

## **VILLAGE OF WARWICK LOCAL LAW NO. \_\_ OF THE YEAR 2025**

A local law to amend Village Code Chapter 145 entitled "Zoning" to change the zoning designation of certain real property located at 42 Orchard Street from Residential ("R") to Light Industrial ("LI").

### **Section 1. Purpose:**

The purpose of this Local Law is to promote the health, safety, and welfare of the Village of Warwick by amending the Village's Zoning Code to change the zoning designation of certain real property located at 42 Orchard Street from Residential ("R") to Light Industrial ("LI").

### **Section 2. Municipal Home Rule Law:**

This law is adopted pursuant to the provisions of the Municipal Home Rule Law § 10(1)(ii)(a)(1) which grants local governments the authority to enact local laws regarding the public health, safety and welfare. To the extent the provisions of this Local Law are in conflict with State law, the Village Board hereby asserts its intention to supersede same pursuant to the Municipal Home Rule.

### **Section 3. Amendment of Code:**

A. The zoning designation of a portion of certain real property located at 42 Orchard Street identified on the Village Tax Map as Section 210, Block 11, Lot 5 and more particularly identified as "Lot 2" on a subdivision plat entitled "M&L Equity Auto, LLC Subdivision & Site Plan" as prepared by Brian Friedler Engineering PLLC dated June 26, 2024 and last revised October 1, 2024 and specifically described on Schedule "A" attached hereto is hereby changed from Residential ("R") to Light Industrial ("LI").

B. Village Code Section 145-21 "Zoning Districts Map," is hereby amended to revise the Zoning Districts Map by changing the zoning designation of the property described on Schedule "A" attached hereto from Residential ("R") to Light Industrial ("LI").

Section 4. Severability:

If any part or provision of this local law or the application thereof to any person or circumstance be adjudged invalid by any court of competent jurisdiction, such judgment shall be confined in its operation to the part or provision or application directly involved in the controversy in which such judgment shall have been rendered and shall not affect or impair the validity of the remainder of this local law.

Section 5. Effective Date:

This Local Law shall become effective upon filing with the Secretary of State of the State of New York subsequent to having been duly adopted by the Village Board.

**Description of Lot 2**  
**Subdivision Map entitled M&L Equity Auto LLC**  
**Vanessa Mann**

All that certain plot, piece and parcel of land situate, lying and being in the Village of Warwick, Town of Warwick, County of Orange and State of New York and being bounded as follows:

Starting at a point along the northerly side of Orchard Street between land N/F Dreyhaupt (SBL 210-11-4) and N/F Mann (SBL 210-11-5) and heading N05°58'00"W a distance of 125.00' to a point and place of beginning,

Thence, N05°58'00"W a distance of 95.00' to a point,

Thence N50°35'36"E a distance of 63.51' to a point,

Thence S05°58'00" E a distance of 130.0' to a point,

Thence S84°02'00"W a distance of 53.00' to the point and place of beginning.

**BEATTIE & KRAHULIK**

Attorneys At Law  
Two Bank Street  
Warwick, New York 10990  
(845) 986-1156  
Fax (845) 986-9421  
[www.hudsonvalleylaw.us](http://www.hudsonvalleylaw.us)

Hon. John J. Beattie (1872-1924)  
Clifford S. Beattie (1899-1952)  
John J. Beattie, III (1937-1984)  
Emil R. Krahulik (1959-2013)

Robert E. Krahulik\*

\*Also admitted in FL and NJ  
bob@hudsonvalleylaw.us  
Karen Costanzo, Paralegal  
karen@hudsonvalleylaw.us

October 2, 2024

**RECEIVED**

**OCT 02 2024**

**VILLAGE OF WARWICK  
CLERK'S OFFICE**

Mayor Michael Newhard  
Village Board of Trustees  
Village of Warwick  
77 Main Street  
Warwick, New York 10990

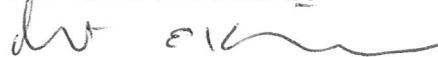
Re: Petition to Amend Village Zoning Map  
Vanessa Mann & M&L Equity Auto LLC  
42 Orchard Street

Mayor Newhard & Board of Trustees:

This office represents the above Petitioners in connection with a proposed change in zoning classification for a portion of the premises located at 42 Orchard Street in the Village of Warwick. The premises is located adjacent to the Warwick Car Wash and has historically been used by the Warwick Car Wash for traffic flow and snow removal. At the request of the Village Building Inspector we are seeking a change in the zoning classification of this parcel from Residential R to Light Industrial LI to bring the use into compliance with the Village Zoning Code. Conditional Final Approval of the Subdivision Map and Site Plan has already been obtained. This is the last step in the process which also includes a subdivision and conveyance of Ms. Mann's property to M&L Equity Auto LLC, the owner of the Warwick Car Wash.

Very truly yours,

BEATTIE & KRAHULIK



ROBERT E. KRAHULIK

REK  
ENCL.



VILLAGE OF WARWICK: VILLAGE BOARD  
COUNTY OF ORANGE: STATE OF NEW YORK

---

In the Matter of the Petition of  
VANESSA MANN

and

M&L EQUITY AUTO LLC

for an Amendment to the Village of Warwick  
Zoning Map Pursuant to §145-21 of the Code

**VERIFIED PETITION FOR  
AMENDMENT TO THE  
ZONING MAP**

Of the Village of Warwick

---

Petitioner VANESSA MANN ("MANN"), respectfully petitions the Village of Warwick Village Board ("Village") to amend the Zoning Map of the Village of Warwick to designate a portion of MANN's lands at 42 Orchard Street, identified on the Village of Warwick Tax Map as a portion of Section 210, Block 11, Lot 5 and identified as Lot 2 on a map entitled M&L EQUITY AUTO, LLC SUBDIVISION & SITE PLAN and prepared by Brian Friedler Engineering PLLC dated June 26, 2024, and last revised October 1, 2024, and to be filed in the office of the Orange County Clerk ( hereinafter "the Map" attached hereto at Exhibit B) which is located in the R Residential Zoning District. Lot 2 is contiguous to land owned by the Petitioner M&L EQUITY AUTO LLC and known as Section 210 Block 11 Lot 16.22 located at 18 Elm Street, in the Village of Warwick and operated as a car wash ("the Car Wash") which is located in the LI Light Industrial Zoning District and presents, as and for their verified petition, the following:

1. The Petitioner M&L Equity Auto LLC is a duly organized limited liability company in the State of New York, which is the owner of the Car Wash located in the Village of Warwick.
2. Paul LeDuc is the Member of the Petitioner and is authorized to represent the LLC and makes this petition on its behalf.
3. Vaness Mann is an individual and is the owner of Lot 2.
4. The Lot 2 consists of  $\pm .137$  acres of land immediately adjacent to the Car Wash and has historically been used by the Car Wash for commercial purposes in connection with the operation of the car wash and specifically for traffic flow and the stockpiling of excess snow accumulation.
5. Petitioners have entered into a contract of sale for the sale of Lot 2 from MANN to M&L EQUITY AUTO LLC contingent upon subdivision approval and a change in zoning from R Residential to LI Light Industrial.
6. Petitioners have obtained Conditional Final Subdivision and Site Plan Approval from the Planning Board of the Village of Warwick for a subdivision of the

premises owned by MANN creating two lots identified as Lot 1 and Lot 2 on the above referenced Map ("Final Approval"). A copy of the resolution is attached at Exhibit A.

7. Final Approval of the Map is conditioned on the Petitioners obtaining a change in the zoning classification allowing the continued use of Lot 2 for commercial purposes in connection with the operation of the car wash.

8. The Petitioners seek a change in the Zoning District Classification for Lot 2 from R Residential to LI Light Industrial.

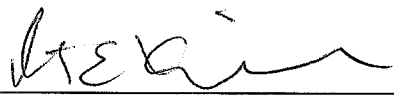
9. The legal description of Lot 2 is attached hereto at Exhibit C.

10. The use of Lot 2 for commercial purposes has been ongoing, open and notorious for decades.

11. The continued use of Lot 2 for commercial purposes is consistent with the Master Comprehensive Plan of the Village of Warwick; the historic use of the property; is not detrimental to nearby property owners; promotes the safe and efficient flow of traffic through the Car Wash site; and is in the best interest of the Village of Warwick.

WHEREFORE, Petitioners seek a change in the zoning classification of Lot 2 from R Residential to LI Light Industrial.

DATED: September 30, 2024  
Warwick, New York

  
By: Robert E. Krahulik, Esq.  
Beattie & Krahulik  
Attorneys for Petitioner  
2 Bank Street  
Warwick, New York 10990  
(845) 986-1156

# EXHIBIT A

VERIFICATION

STATE OF NEW YORK    )  
                                  )ss:  
COUNTY OF ORANGE    )

PAUL LEDUC, being duly sworn states: 1. I am the Member/Manager for M&L EQUITY AUTO LLC, the Petitioner herein; 2. I have read the annexed Petition and it is entirely true based upon my own personal knowledge, except as to those matters which are alleged upon information and belief, and as to such matters the deponent believes them to be true.

\_\_\_\_\_  
PAUL LEDUC

Sworn to before me on the  
\_\_\_\_ day of October, 2024

\_\_\_\_\_  
Notary Public

VERIFICATION

STATE OF NEW YORK    )  
                                  )ss:  
COUNTY OF ORANGE    )

Vanessa Mann being duly sworn, says:

I am the Petitioner in the action herein; I have read the annexed Petition, know the contents thereof, and the same are true to my knowledge, except those matters therein which are stated to be alleged on information and belief and as to those matters, I believe them to be true.

Vanessa Mann  
Vanessa Mann

Sworn to before me on the  
1<sup>st</sup> of October, 2024


[Signature]

ROBERT E. KRAHULIK  
NOTARY PUBLIC, State of New York  
No. 4940119  
Qualified in Orange County  
Commission Expires August 8, 192026

VERIFICATION

STATE OF NEW YORK    )  
                                  )ss:  
COUNTY OF ORANGE    )

PAUL LEDUC, being duly sworn states: 1. I am the Member/Manager for M&L EQUITY AUTO LLC, the Petitioner herein; 2. I have read the annexed Petition and it is entirely true based upon my own personal knowledge, except as to those matters which are alleged upon information and belief, and as to such matters the deponent believes them to be true.

  
\_\_\_\_\_  
PAUL LEDUC

Sworn to before me on the  
2nd day of October, 2024

  
\_\_\_\_\_  
Notary Public

**Antoinette McGee**  
Notary Public State of New York  
No. 01MC6142701  
Qualified in Orange County  
Commission Expires March 20, 2026

VERIFICATION

STATE OF NEW YORK    )  
                                  )ss:  
COUNTY OF ORANGE    )

Vanessa Mann being duly sworn, says:

I am the Petitioner in the action herein; I have read the annexed Petition, know the contents thereof, and the same are true to my knowledge, except those matters therein which are stated to be alleged on information and belief and as to those matters, I believe them to be true.

\_\_\_\_\_  
Vanessa Mann

Sworn to before me on the  
\_\_\_\_ of October, 2024

\_\_\_\_\_

RESOLUTION OF APPROVAL  
FOR AMENDED SITE PLAN AND SUBDIVISION APPROVAL  
FOR  
M & L EQUITY AUTO LLC  
VANESSA MANN  
SBL 210 – 11 – 5  
210-11-16.22

---

**Nature of Application**

M & L EQUITY AUTO LLC and VANESSA MANN seek to alter the existing lot line between 18 Elm Street (SBL 210-11-16.22) and 42 Orchard Street (SBL 210-11-5). Such alteration consists of transferring 5,963 square feet from 42 Orchard Street to 18 Elm Street. The purpose of the project is to eliminate the existing encroachment of M&L Equity Auto facilities across the rear of the Mann property (42 Orchard Street). Other than the installation of additional screening in the form of landscaping and a fence, the application does not propose any new construction.

**Zoning District:**

The Mann property (42 Orchard Street) is located in the Residential (R) zoning district. The M&L Equity Auto property (18 Elm) Street is located in the Light Industrial (LI) zoning district. The application requires a zone change by the Village Board of Trustees, rezoning the transferred property from Residential (R) to Light Industrial (LI).

Gasoline service stations, Automobile sales and service, and car washes are conditional uses in the Light Industrial (LI) district as set forth in the Village of Warwick Zoning Code. The site last received site plan approval on August 2, 1990, subject to the terms and conditions of an area variance granted by the Zoning Board of Appeals.

**Plans**

The Subdivision Approval and Amended Site Plan application materials being considered consist of the following:

1. Application, dated May 8, 2023, submitted by letter dated July 20, 2023.
2. Subdivision Application, dated March 26, 2024
3. A three (3) sheet set of plans containing the following:
  - a. "Site Plan, M&L Equity Auto LLC Lot Line Change" prepared by Friedler Engineering, PLLC, dated June 26, 2023, last revised August 13, 2024 (Entitled "Subdivision Plan")

- b. Subdivision Plan, prepared by Schmick Surveying, Inc., dated March 10, 2023, last revised August 5, 2024
  - c. Subdivision Plan, sheet 2, prepared by Schmick Surveying, Inc., dated March 10, 2023, last revised August 5, 2024, containing the Zoning Board of Appeals decision.
4. Short Form Environmental Assessment Form (SEAF) dated May 8, 2023.

## **History**

### Date of Application

The Planning Board initially received an application for a lot line change on or about July 20, 2023. By memorandum dated October 3, 2023, Planning Board Attorney Robert Dickover opined that the Village Code required that the project be treated as a subdivision application and not a lot line change application.

The Applicant submitted a subdivision application dated April 17, 2024, which was initially taken up by the Planning Board at its May 14, 2024 meeting.

By memorandum dated August 27, 2024, Planning Board Attorney Elizabeth Cassidy opined that in addition to subdivision approval, site plan approval was also required. The Planning Board took up site plan considerations at its September 10, 2024 meeting.

### GML 239 Referral

This application was not subject to review by the Orange County Planning Department.

### SEQRA

#### Lead Agency & Type of Action:

At its May 14, 2024, the Planning Board adopted a resolution declaring Lead Agency pursuant to the New York State Environmental Quality Review Act (SEQRA) and further declared that the proposed action was an Unlisted action, and that uncoordinated review was warranted.

### Zoning Board of Appeals

The Village of Warwick Zoning Board of Appeals, by decision signed April 25, 2024, granted an area variance reducing the minimum lot area 42 Orchard Street (SBL 210-11-5) from 20,000 square feet to 6,625 square feet. 42 Orchard Street was originally 12,589 square feet.

### Public Hearing

A public hearing was held on August 13, 2024, and held over until September 10, 2024 as to the Subdivision Application.

With respect to site plan, pursuant to its authority set forth the Village of Warwick Code § 145-96, the Planning Board resolved that given the nature of the amendments coupled with the fact that the subdivision application contained substantially similar information that a separate public hearing on the site plan would not be required.

On August 13, 2024, one neighbor spoke requesting the opportunity to review the revised plan. The public hearing was held open to accommodate that request. No further public comment was received.

### **Findings**

The Planning Board has determined that final approval of the amended site plan and subdivision approval will substantially serve the public convenience, safety and welfare in that the proposed project better screens the existing Light Industrial Use from the adjoining residential properties. The purpose of the instant application is to conform the documents on file with the Village of Warwick with what exists on site and has been developed overtime.

The Planning Board discussed at length various options for screening the light industrial uses from the adjoining residential properties. The applicant will extend the existing fence line which runs in a East-West direction parallel to Orchard Street through 42 Orchard Street. The western most property line will be shielded with a series of Arbor Vitae planted in two offset rows. The Board finds that planted screening on this property line will have less impact on the floodplain and allows flood water to travel through the natural trees compared with a fence.

### **Resolution of Approval,**

NOW, THEREFORE, THE PLANNING BOARD RESOLVES to grant final approval to the amended site plan application and subdivision applications of M&L Equity Auto LLC and Vanessa Mann as depicted on the plans identified above upon conditions outline below, and the Chairperson (or his designee) is authorized to sign the plans upon satisfaction of those conditions below noted to be conditions precedent to such signing.

### **General Conditions**

1. This approval is conditioned upon the applicant submitting all necessary copies of the plans to be signed, as required to the Village of Warwick Planning Department.
2. This approval is further conditioned upon the applicant paying or depositing into escrow all applicable review, inspection and any other applicable fees.
3. This approval is further conditioned upon the applicant delivering (prior to signing the plans) proof, in writing, that all fees - engineering, legal and otherwise - in regard to this project have been fully paid.
4. The plans shall not be signed until proof satisfactory to the chair, has been presented showing that all conditions of this approval have been fulfilled or otherwise satisfied.
5. All conditions of this conditional approval shall be fulfilled within twelve (12) months from the date of the Village Board approval of the zone change as required by Specific Condition 11 unless the applicant shall, within said twelve (12) month period and prior to expiration of said time, file with the Planning Board a request for an extension of this conditional approval and prove to the satisfaction of the Planning Board that such extensions is justified based upon such matters as are outside the control of the applicant. Upon expiration of said twelve (12) month period without an extension having been granted this conditional approval shall lapse.
6. All conditions precedent to this approval shall be satisfied prior to issuance of a Building Permit for the new fence.
7. No approval is intended to be given or is given by this resolution for site plan elements depicted on adjoining properties.



8. Construction hours at the project site shall be limited to the hours of 7:00 am and 7:00 pm on weekdays and 8:00 am and 7:00pm on Saturdays. There shall be no construction on Sundays.
9. The Chairman shall be authorized to sign the site plan and subdivision plat upon receipt of written confirmation from the Village Engineer and Planning Board Attorney that the final site plan and subdivision plat conform to the terms of this approval.

### Specific Conditions

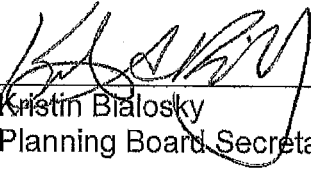
10. This approval is subject to a zone change by the Village Board of Trustees within 12 months of this approval. In the event such zone change is not granted, M&L Equities shall return to the Village Planning Board for amended site plan approval.
11. This approval is subject to the terms and conditions of the Decision of the Village of Warwick Zoning Board of Appeals dated April 25, 2024.
12. Prior to signing the plat, applicant to file an easement in favor of the Village of Warwick confirming and restating the sewer easement given by Booker J. Smith Enterprises, Inc. to the Village of Warwick, dated August 14, 1998, and recorded in the Orange County Clerk's office on September 18, 1998 in Liber 4874 at Page 46.
13. Prior to signing the plat, applicant to locate existing sewer easement on plan.
14. Prior to signing the plat, applicant to address all outstanding comments as set forth in the memorandum of Keith Woodruff, Engineering & Surveying Properties, dated September 4, 2024.
15. Landscaping to be maintained in perpetuity.
16. Applicant to submit site plan application materials together with the applicable fee to reflect the inclusion of site plan approval.
17. Applicant to remove gravel area to the extent it encroaches on SBL 210-11-4.
18. The proposed fence shall be constructed to a height of six feet to be consistent with the existing privacy fence.
19. Subdivision Plat to be filed in the office of the Orange County Clerk within sixty-two (62) days from the map signature date, with a copy to be furnished to the Village of Warwick Clerk.

In Favor      5      Against      0      Abstain      0      Absent      0

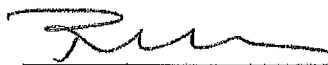
Dated: September 10, 2024

  
\_\_\_\_\_  
JESSE GALLO, Chairman  
VILLAGE OF WARWICK PLANNING BOARD

Filed in the Office of the Planning Board Clerk on this 19<sup>th</sup> day of September 2024

  
\_\_\_\_\_  
Kristin Bialosky  
Planning Board Secretary

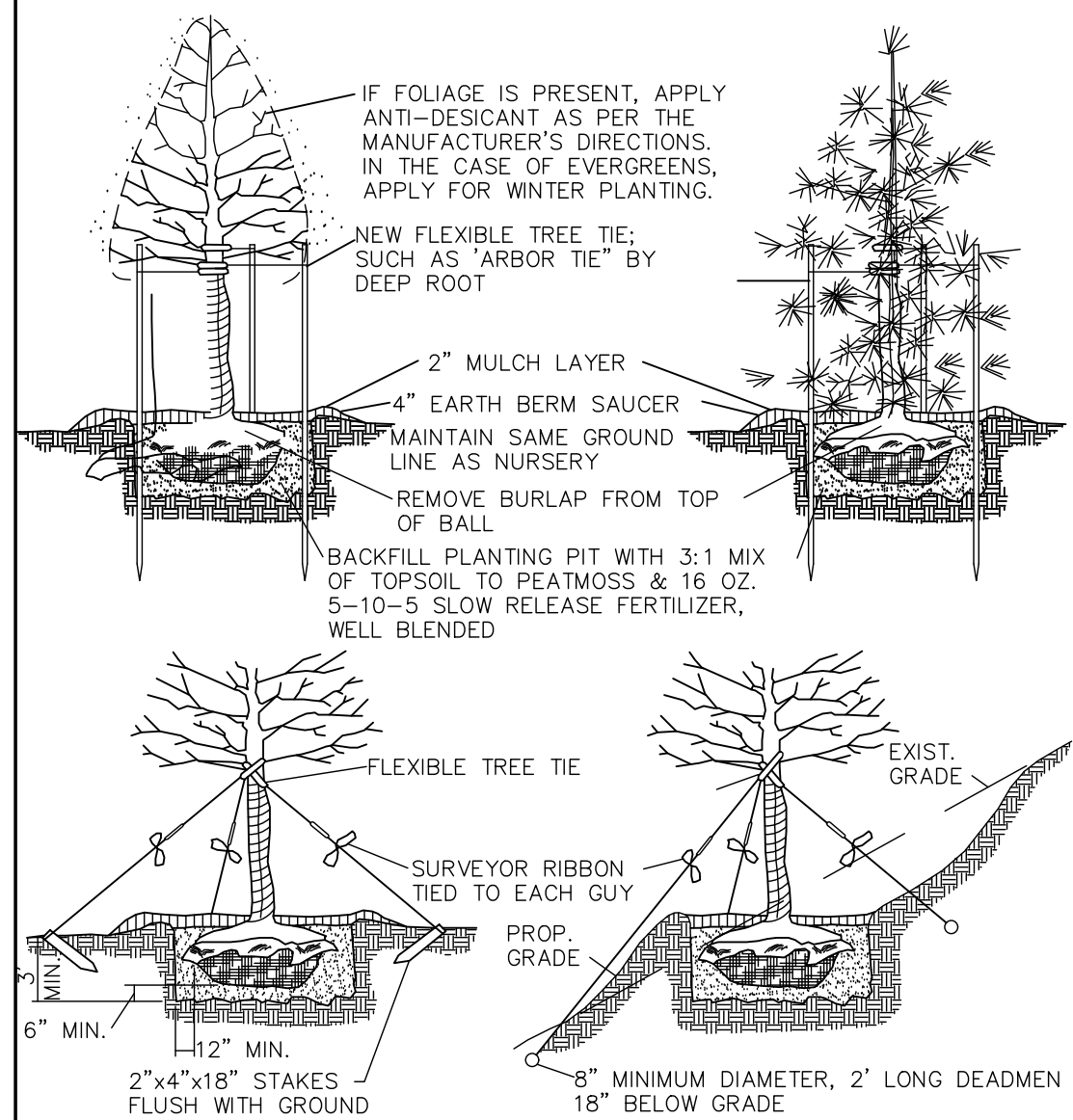
I, Raina Abramson, Clerk of the Village of Warwick, does hereby certify that the foregoing resolution was filed in the Office of the Village Clerk on September 20, 2024

A handwritten signature in black ink, appearing to read 'Raina', written over a horizontal line.

Raina Abramson, Clerk  
Village of Warwick

# EXHIBIT B





PLANT MATERIALS :  
PLANT MATERIALS SHOULD BE OF THE SPECIFIED SPECIES AND VARIETY, UNLESS OTHERWISE DIRECTED IN WRITING. ALL PLANTS, WHETHER BALLED AND BURLAPPED OR IN A CONTAINER, SHALL HAVE ROOT BALLS THAT AREN'T CRACKED OR BROKEN. PLANT MATERIALS THAT ARE STORED ON SITE FOR LONGER THAN 3 DAYS SHALL HAVE THE ROOT BALLS PROTECTED BY WET MOSS OR OTHER SUITABLE MATERIAL AND KEPT WATERED.

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SHREDDED HARDWOOD BARK MULCH :

AREAS SHOWN ON THE PLAN AND SPECIFIED BELOW ARE TO RECEIVE A 2" LAYER OF BARK MULCH. BARK MULCH AREAS INCLUDE ALL PLANTING BEDS, SHADE TREES AND ALL OTHER AREAS AS SHOWN ON THE PLAN. THE MULCH AREAS SHALL BE UNDERLAIN WITH A FABRIC WEED BARRIER.

ONLY HARDWOOD BARK MULCH SHALL BE USED AND SHALL NOT CONTAIN LEAVES, TWIGS, BRANCHES, WOOD SHAVINGS, DIRT, STONES, CODS OF TURF OR OTHER FOREIGN MATERIAL OR DEBRIS. BARK MULCH SHALL NOT EXCEED 2" IN ANY DIMENSION.

FABRIC WEED BARRIER SHALL BE A PRODUCT DESIGNED FOR THIS PURPOSE AND SHALL BE BLACK IN COLOR.

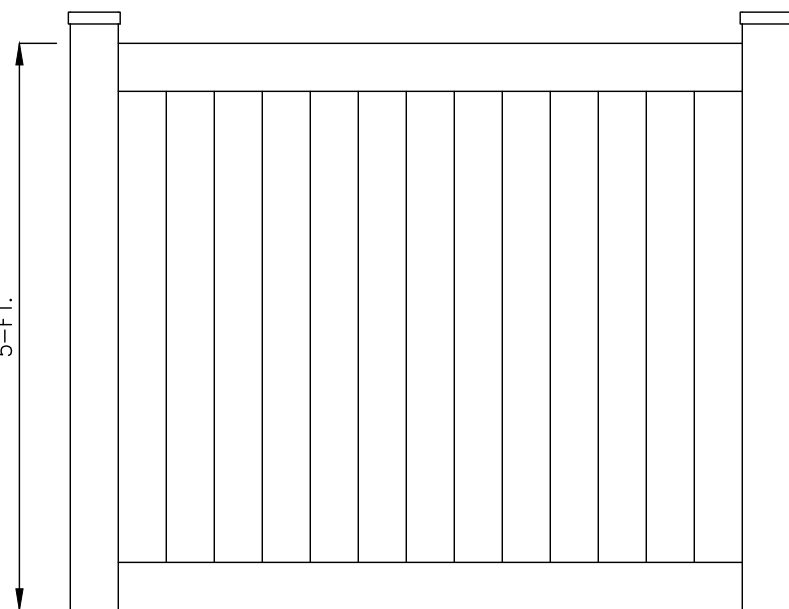
WHEN THE 2" BARK MULCH LAYER IS SPREAD, THE SURFACE OF THE MULCH WILL BE FLUSH WITH ADJACENT AREAS. PROVIDE A SAUCER RIM AS PER DETAILS. IF, PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, ANY BARK MULCH HAS BEEN DISPLACED, THE DISPLACED AREAS WILL BE RESTORED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.

#### LANDSCAPING DETAILS

N.T.S.

#### VILLAGE SEWER MANHOLE NOTE:

SEWER MANHOLE NO. 3016 LOCATION TO BE VERIFIED BY THE VILLAGE OF WARWICK. NOT PHYSICALLY LOCATED PER SEWER MANHOLE LOCATIONS MAP, DATED AUGUST 7, 2014, BY LANC & TULLY.



5-FT H X 8-FT W TAN VINYL SOLID FENCE

N.T.S.

#### ZONING DATA :

RESIDENTIAL (R) - SECTION 210, BLOCK 11, LOT 5  
EXISTING USE: ONE FAMILY RESIDENCE  
PROPOSED USE: ONE FAMILY RESIDENCE

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	20,000 SQ.FT.	12,589 SQ.FT.(*)	6,625 SQ.FT.(**)
MIN. LOT WIDTH	100 FT.	53.0 FT.(*)	53.0 FT.(*)
FRONT SETBACK	35 FT.	20.8 FT.(*)	20.8 FT.(*)
MIN. FRONT YARD	35 FT.	13.0 FT.(*)	13.0 FT.(*)
MIN. REAR SETBACK	35 FT.	154 FT.	59 FT.
MIN. REAR YARD	10 FT.	152 FT. ±	57.0 FT. ±
MIN. SIDE SETBACK	20 FT.	7.1 FT.(*)	7.1 FT.(*)
TOTAL SIDE SETBACK	50 FT.	16.7 FT.(*)	16.7 FT.(*)
MIN. SIDE YARD	10 FT.	7.1 FT.(*)	7.1 FT.(*)
MIN. STREET FRONTAGE	80 FT.	53.0 FT.(*)	53.0 FT.(*)
MAX. BLDG. HEIGHT	35 FT./3 STRY.	≤ 35 FT./3 STRY.	≤ 35 FT./3 STRY.
DEVELOPMENT COVERAGE	35%	14.7% ±	28.0% ±
MIN. LOT DEPTH	125 FT.	237.5 FT.	125 FT.
LIVABLE FLOOR AREA	1,250 SF	>1,250 SF	>1,250 SF

(\*) NON-CONFORMING, PRE-EXISTING CONDITION  
(\*\*) VARIANCE GRANTED BY THE VILLAGE OF WARWICK ZONING BOARD OF APPEALS FILED IN THE OFFICE OF THE VILLAGE CLERK ON APRIL 25, 2024.

LIGHT INDUSTRIAL (LI) - SECTION 210, BLOCK 11, LOT 16.22

EXISTING USES: GASOLINE SERVICE STATION, AUTOMOBILE SALES AND SERVICE, INCLUDING REPAIRS, AND CAR WASHES.  
PROPOSED USES: GASOLINE SERVICE STATION, AUTOMOBILE SALES AND SERVICE, INCLUDING REPAIRS, AND CAR WASHES.

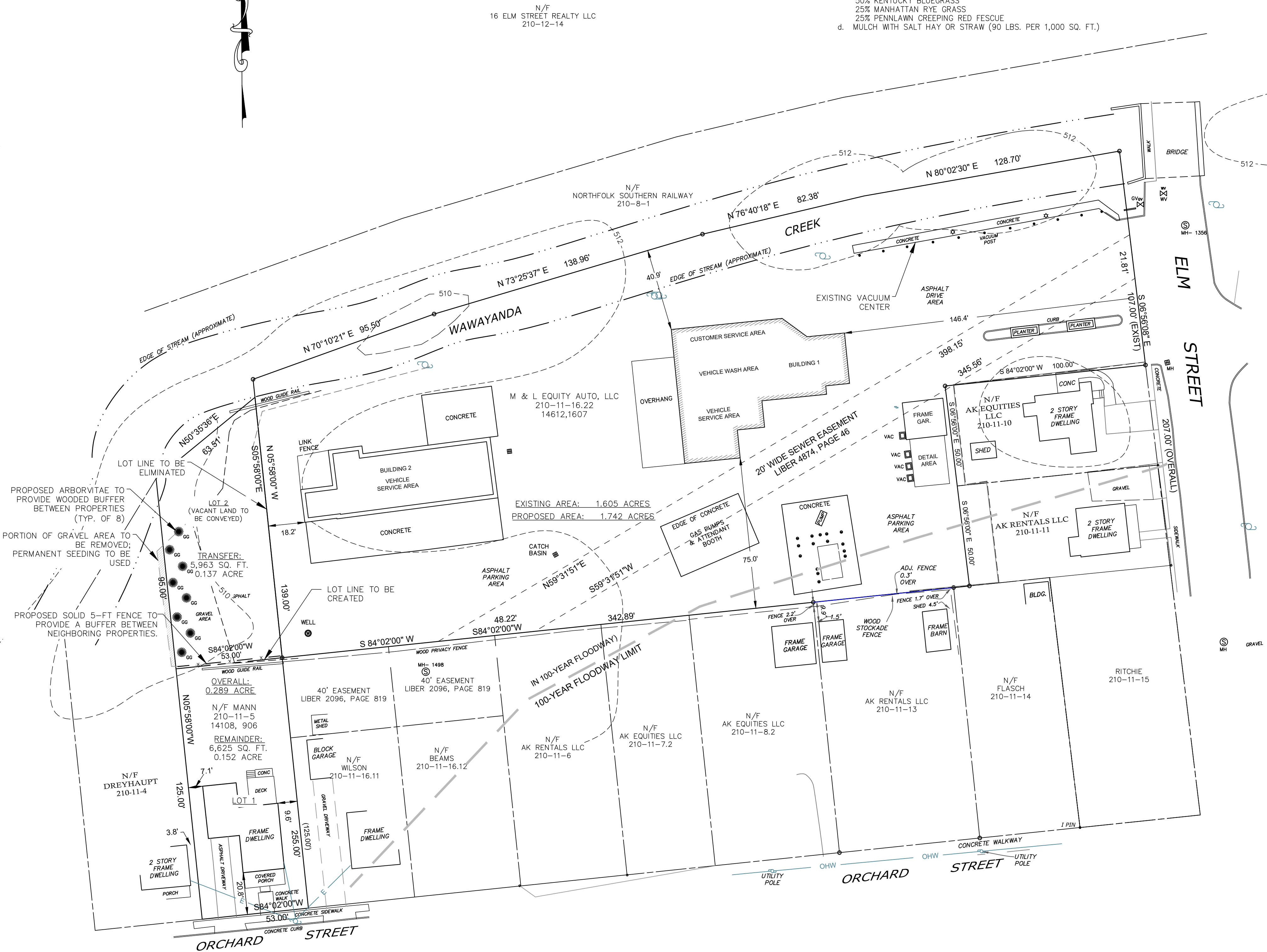
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	12,589 SQ.FT.	69,913.8 SQ.FT.	75,881.5 SQ.FT.
MIN. LOT WIDTH	100 FT.	180 ± FT.	180 ± FT.
FRONT SETBACK	35 FT.	47 ± FT.	47 ± FT.
MIN. FRONT YARD	N/A	N/A	N/A
MIN. REAR SETBACK	20 FT.	40.9 FT.	40.9 FT.
MIN. REAR YARD	10 FT.	18.2 FT.	71.2 FT.
MIN. SIDE SETBACK	10 FT.	> 10 FT.	> 10 FT.
TOTAL SIDE SETBACK	20 FT.	0 ± FT. (*)	0 ± FT. (*)
MIN. SIDE YARD	10 FT.	107.0 FT.	107.0 FT.
MIN. STREET FRONTAGE	100 FT.	≤ 35 FT./3 STRY.	≤ 35 FT./3 STRY.
MAX. BLDG. HEIGHT	40 FT.	89% ± (*)	86% ± (**)
DEVELOPMENT COVERAGE	80%	34.3 ± FT.	396 ± FT.
MIN. LOT DEPTH	100 FT.		

NOTE 1: THE REQUIRED FRONT SETBACK NOT BE GREATER THAN THE AVERAGE SETBACK OF THE TWO NEAREST NEIGHBORING STRUCTURES LOCATED ON THE SAME SIDE OF THE STREET WITH 150-FOOT OF THE PROPOSED BUILDING.  
(\*) NON-CONFORMING, PRE-EXISTING CONDITION  
(\*\*) NON-CONFORMING

#### GRAVEL AREA ENCROACHMENT REMEDIATION

REMOVAL OF EXISTING GRAVEL AREA EXTENDING ONTO PORTION OF LOT 210-11-4  
REMEDICATION OF THIS AREA WITH PERMANENT AS FOLLOWS:

- LOOSEN SEVERELY COMPACTED AREAS BY DISING TO 12" DEPTH.
- FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 FERTILIZER (20 LBS. PER 1,000 SQ. FT.)
- SEED WITH THE FOLLOWING MIXTURE AT 5 LBS. PER 1,000 SQ. FT.:
  - 50% KENTUCKY BLUEGRASS
  - 25% MANHATTAN RYE GRASS
  - 25% PENNLAWN CREEPING RED FESCUE
- MULCH WITH SALT HAY OR STRAW (90 LBS. PER 1,000 SQ. FT.)



#### GENERAL NOTES

- TAX MAP DESIGNATION: SECTION 210, BLOCK 11, LOT 5 & 16.22  
18 ELM STREET, WARWICK, NY 10990  
42 ORCHARD STREET, WARWICK, NY 10990
- RECORD OWNERS / APPLICANTS:  
SBL: 210-11-16.22  
M & L EQUITY AUTO, LLC  
18 ELM STREET  
WARWICK, NY 10990  
SBL: 210-11-5  
VANESSA MANN  
42 ORCHARD STREET  
WARWICK, NY 10990
- PROPERTY AREAS:  
210-11-16.22: EXISTING: 1.605 ACRES  
PROPOSED: 1.742 ACRES  
EXISTING: 0.289 ACRES  
210-11-5: PROPOSED: 0.152 ACRES
- ZONING AND USES:  
SECTION 210, BLOCK 11, LOT 16.22 - LIGHT INDUSTRIAL (LI)  
EXISTING USES: GASOLINE SERVICE STATION, AUTOMOBILE SALES AND SERVICES, INCLUDING REPAIRS, AND CAR WASHES.  
PROPOSED USES: GASOLINE SERVICE STATION, AUTOMOBILE SALES AND SERVICES, INCLUDING REPAIRS, AND CAR WASHES.  
SECTION 210, BLOCK 11, LOT 5 - RESIDENTIAL (R)  
EXISTING USE: ONE FAMILY RESIDENCE  
PROPOSED USE: ONE FAMILY RESIDENCE
- EXISTING WATER SUPPLY: VILLAGE OF WARWICK WATER SYSTEM
- EXISTING SEWAGE DISPOSAL: VILLAGE OF WARWICK SEWER SYSTEM
- SURVEY INFORMATION PROVIDED BY SCHMICK SURVEYING, INC. P.L.S., DATED MARCH 10, 2023. TOPOGRAPHY INFORMATION TAKEN FROM ORANGE COUNTY IMAGE MATE.
- NATIONAL FLOOD HAZARD ELEVATIONS TAKEN FROM FEMA FIRMETTE MAP 3607100463E, EFF. 08/03/2009. 100-YEAR FLOOD ELEVATION 516.5. VERTICAL DATUM IS THE N.A.V.D.88

#### CONSTRUCTION NOTES:

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- CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION 2 FULL WORKING DAYS BEFORE YOU DIG AT 1-800-962-7962.

#### LEGEND

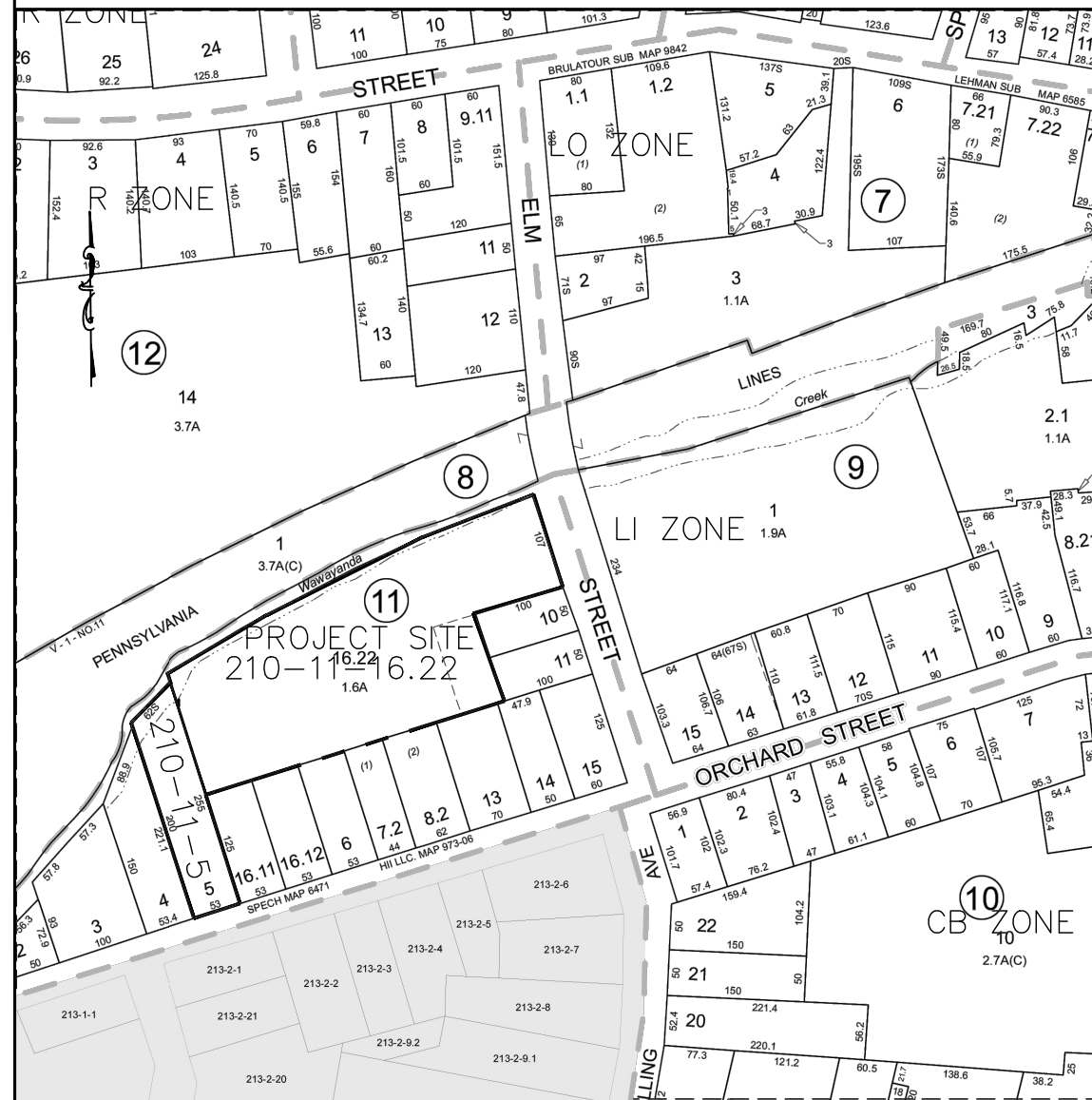
---	EXISTING PROPERTY LINE
---	OVERHEAD UTILITY LINES
---	STREAM
---	EXISTING CONTOUR
X	PROPOSED FENCE

#### PROPOSED TREES

TYPE:	QTY:	SYMB:	BOTANICAL NAME:	COMMON NAME:
ARBORVITAE	8	GG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE
				SIZE AT PLANTING: 7'-8'

#### VICINITY MAP

SCALE: 1" = 200'±



4	10/01/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
3	09/04/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
2	08/13/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
1	06/26/23	VILLAGE OF WARWICK PLANNING BOARD REVIEW
ISSUE	DATE	DESCRIPTION

#### SUBDIVISION PLAN

### M&L EQUITY AUTO, LLC SUBDIVISION & SITE PLAN

SECTION 210 BLOCK 11 LOT 5 & 16.22  
VILLAGE OF WARWICK  
ORANGE COUNTY, NEW YORK

## FRIEDLER ENGINEERING, PLLC

PH. 845.544.5662  
9 LOCUST STREET WARWICK, NEW YORK 10990  
FRIEDLERENGINEERING@OUTLOOK.COM

DRAWN BY	CHECKED BY	SCALE	JOB NO.	SHEET NO.
BJF	BJF	AS SHOWN	FE-23037	1 OF 1

#### APPROVED FOR FILLING:

OWNER(S) DATE

OWNER(S) DATE

APPROVED AS A FINAL SITE PLAN BY A RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WARWICK ON

CHAIRMAN DATE

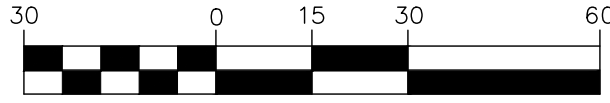
VILLAGE ENGINEER DATE

COPIES OF THIS DOCUMENT WITHOUT AN ACTUAL OR FACSIMILE OF THE ENGINEER'S SIGNATURE AND AN ORIGINAL STAMP OR EMBOSSED SEAL SHALL BE CONSIDERED INVALID.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

BRIAN FRIEDLER, P.E.  
NEW YORK LICENSE # 105494

#### GRAPHIC SCALE



1" = 30'

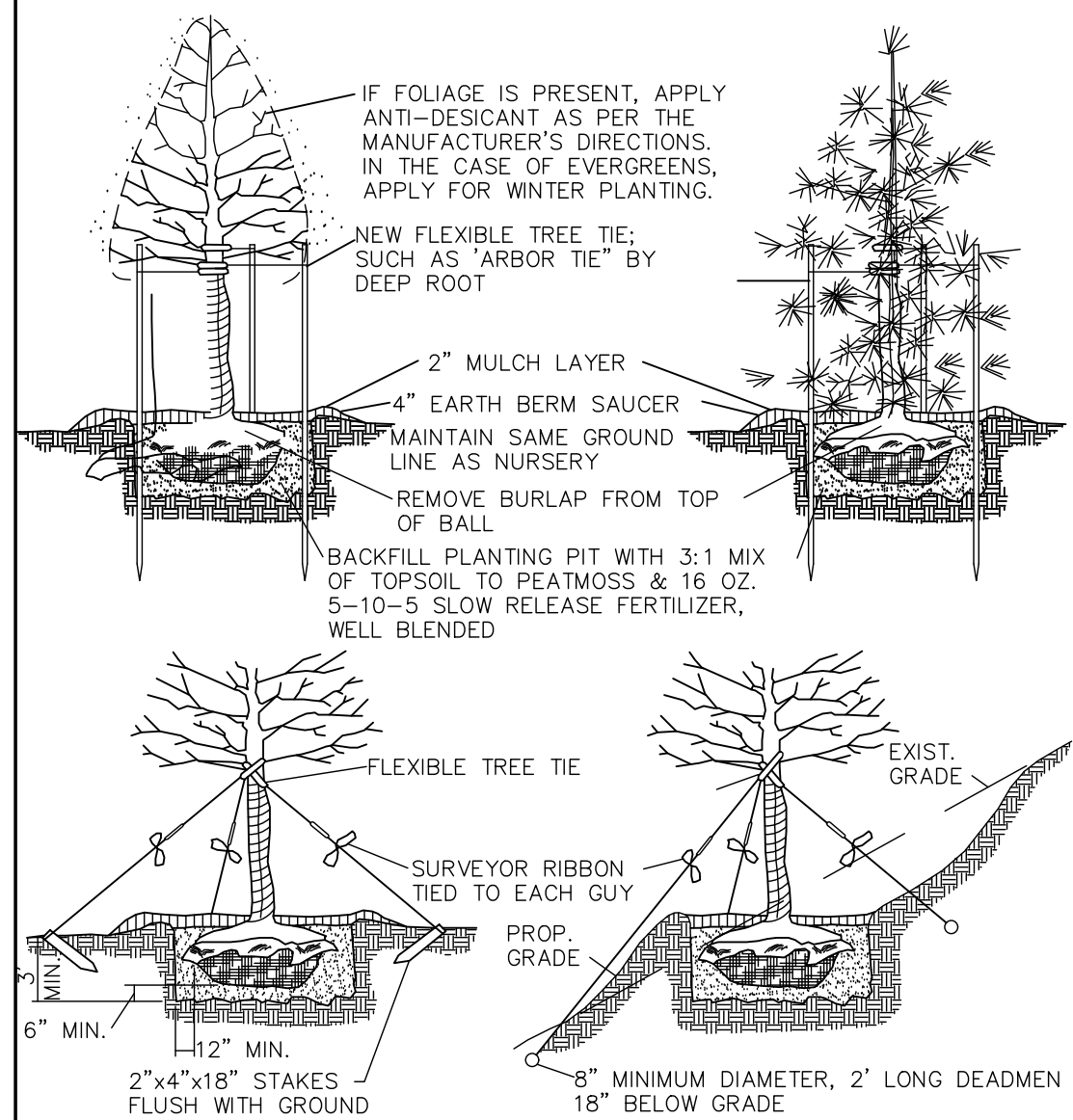


# EXHIBIT C

## Schedule A

All that certain piece and parcel of land located in the Village of Warwick, Town of Warwick, County of Orange And State of New York and known as Lot 2 on a map entitled M&L EQUITY AUTO, LLC SUBDIVISION & SITE PLAN and prepared by Brian Friedler Engineering PLLC dated June 26, 2024, and last revised October 1, 2024, and to be filed in the office of the Orange County Clerk.





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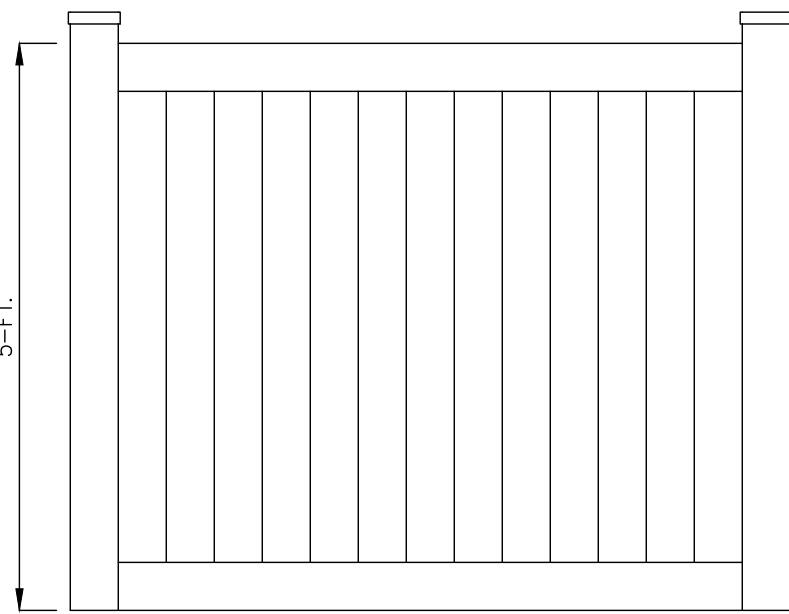
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#### LANDSCAPING DETAILS

N.T.S.

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5-FT H X 8-FT W TAN VINYL SOLID FENCE

N.T.S.

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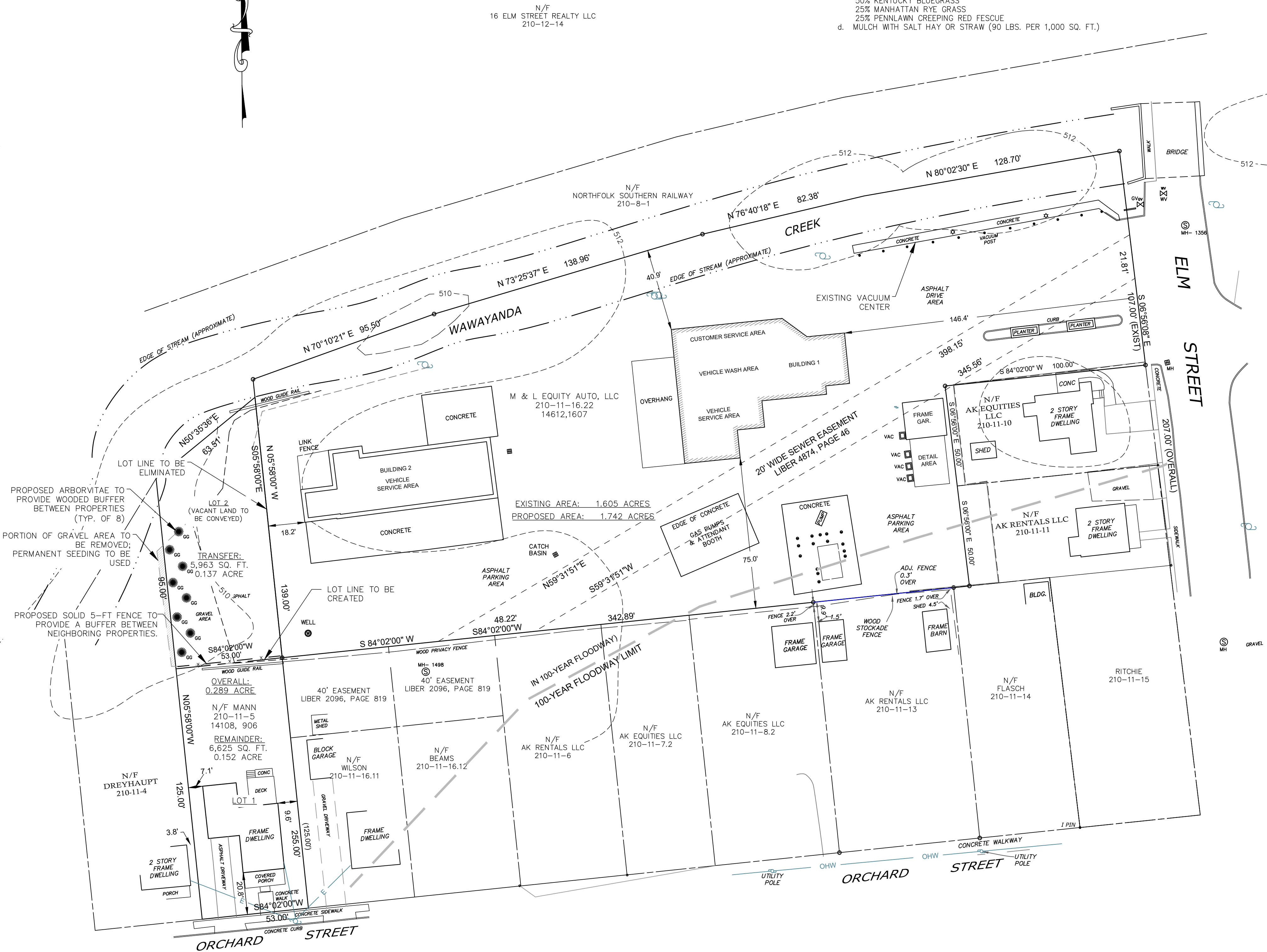
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REMOVAL OF EXISTING GRAVEL AREA EXTENDING ONTO PORTION OF LOT 210-11-4  
REMEDICATION OF THIS AREA WITH PERMANENT AS FOLLOWS:

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- FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 FERTILIZER (20 LBS. PER 1,000 SQ. FT.)
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  - 25% MANHATTAN RYE GRASS
  - 25% PENNLAWN CREEPING RED FESCUE
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#### GENERAL NOTES

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42 ORCHARD STREET, WARWICK, NY 10990
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M & L EQUITY AUTO, LLC  
18 ELM STREET  
WARWICK, NY 10990  
SBL: 210-11-5  
VANESSA MANN  
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WARWICK, NY 10990
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- ZONING AND USES:  
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#### LEGEND

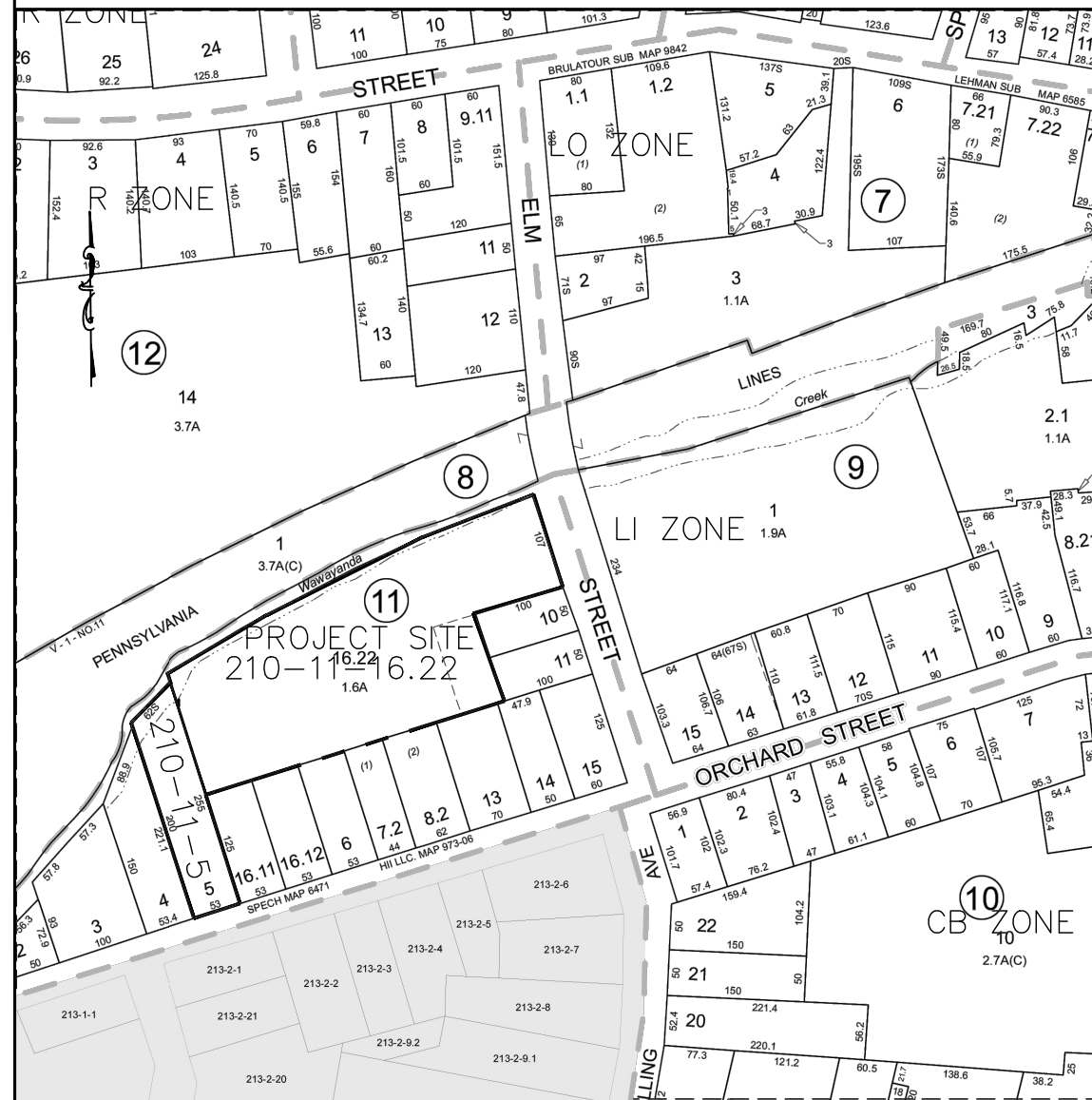
---	EXISTING PROPERTY LINE
---	OVERHEAD UTILITY LINES
---	STREAM
---	EXISTING CONTOUR
X	PROPOSED FENCE

#### PROPOSED TREES

TYPE:	QTY:	SYMB:	BOTANICAL NAME:	COMMON NAME:
ARBORVITAE	8	GG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE
				SIZE AT PLANTING: 7'-8'

#### VICINITY MAP

SCALE: 1" = 200'±



NO.	DATE	DESCRIPTION
4	10/01/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
3	09/04/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
2	08/13/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
1	06/26/23	VILLAGE OF WARWICK PLANNING BOARD REVIEW

#### SUBDIVISION PLAN

### M&L EQUITY AUTO, LLC SUBDIVISION & SITE PLAN

SECTION 210 BLOCK 11 LOT 5 & 16.22  
VILLAGE OF WARWICK  
ORANGE COUNTY, NEW YORK

## FRIEDLER ENGINEERING, PLLC

PH. 845.544.5662  
9 LOCUST STREET WARWICK, NEW YORK 10990  
FRIEDLERENGINEERING@OUTLOOK.COM

DRAWN BY	CHECKED BY	SCALE	JOB NO.	SHEET NO.
BJF	BJF	AS SHOWN	FE-23037	1 OF 1

#### APPROVED FOR FILLING:

OWNER(S) DATE

OWNER(S) DATE

APPROVED AS A FINAL SITE PLAN BY A RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WARWICK ON \_\_\_\_\_

CHAIRMAN DATE

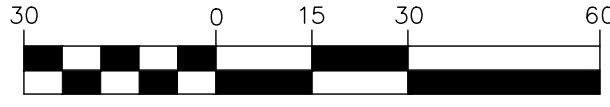
VILLAGE ENGINEER DATE

COPIES OF THIS DOCUMENT WITHOUT AN ACTUAL OR FACSIMILE OF THE ENGINEER'S SIGNATURE AND AN ORIGINAL STAMP OR EMBOSSED SEAL SHALL BE CONSIDERED INVALID.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

BRIAN FRIEDLER, P.E.  
NEW YORK LICENSE # 105494

#### GRAPHIC SCALE



1" = 30'



77 Main Street  
Post Office Box 369  
Warwick, NY 10990  
www.villageofwarwick.org



(845) 986-2031  
FAX (845) 986-6884  
mayor@villageofwarwick.org  
clerk@villageofwarwick.org

# VILLAGE OF WARWICK

INCORPORATED 1867

## VILLAGE OF WARWICK

### VILLAGE BOARD

### NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a PUBLIC HEARING will be held by the Village Board of the Village of Warwick at Village Hall, 77 Main Street, Warwick, New York 10990 on the 19<sup>th</sup> day of May 2025 at 7:30 p.m. or as soon thereafter as the matter can be heard on the petition of Vanessa Mann and M&L Equity Auto LLC for adoption of a local law changing the zoning designation of certain real property identified as "Lot 2" in the subdivision of the property located at 42 Orchard Street, Warwick, New York (Tax Map Section 210, Block 11, Lot 5) from Residential ("R") to Light Industrial ("LI").

The Village Board will at the above-stated date, time and place hear all persons interested in the subject matter hereof. Persons may appear in person or by agent. All written communications addressed to the Village Board must be received by the Village Board at or prior to the public hearing.

BY ORDER OF THE VILLAGE BOARD  
VILLAGE OF WARWICK  
RAINA ABRAMSON  
VILLAGE CLERK

Dated: March 28, 2025

**RECEIVED**

**MAY 12 2025**

**VILLAGE OF WARWICK  
CLERK'S OFFICE**



9589 0710 5270 2426 4672 35

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9589 0710 5270 2426 4672 11

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9589 0710 5270 2426 4671 98

9589 0710 5270 2426 4671 81

9589 0710 5270 2426 4671 74

9589 0710 5270 2426 4671 67

9589 0710 5270 2426 4671 50

9589 0710 5270 2426 4671 43

9589 0710 5270 2426 4671 36

9589 0710 5270 2356 4257 49

9589 0710 5270 2356 4257 32

9589 0710 5270 2356 4257 25

9589 0710 5270 2356 4257 18

9589 0710 5270 2356 4257 01

9589 0710 5270 2356 4256 95

9589 0710 5270 2356 4256 88

9589 0710 5270 2356 4256 71

9589 0710 5270 2356 4256 64

9589 0710 5270 2356 4256 57

9589 0710 5270 3128 5076 94

9589 0710 5270 3128 5076 87

9589 0710 5270 3128 5076 70

9589 0710 5270 3128 5076 63

9589 0710 5270 3128 5076 56

9589 0710 5270 3128 5076 49

9589 0710 5270 3128 5076 32

9589 0710 5270 3128 5076 25

9589 0710 5270 3128 5076 18

9589 0710 5270 3128 5076 01

9589 0710 5270 3128 5075 95

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9589 0710 5270 3128 5075 71

9589 0710 5270 3128 5075 64

9589 0710 5270 3128 5075 57

9589 0710 5270 3128 5075 40

9589 0710 5270 3128 5075 33

9589 0710 5270 3128 5075 26

9589 0710 5270 3128 5075 19

9589 0710 5270 1822 8310 39

9589 0710 5270 1822 8310 22

9589 0710 5270 1822 8310 15

9589 0710 5270 1822 8310 08

9589 0710 5270 1822 8309 95

9589 0710 5270 1822 8309 88

9589 0710 5270 1822 8309 71

9589 0710 5270 1822 8309 64

9589 0710 5270 1822 8309 57

9589 0710 5270 1822 8309 40

213-2-1  
Frankie & Souzi Montelione  
1 Hamilton Ave  
Warwick, NY 10990

213-2-9.1  
Meridyth E Duke Trust  
Duke Trustee, Meridyth E  
12 Welling Ave  
Warwick, NY 10990

213-2-11  
Barbara Simpson  
16 Welling Ave  
Warwick, NY 10990

213-2-17.1  
Roger L & Dawn Ferrec  
18 Welling Ave  
Warwick, NY 10990

210-13-7  
Michael S Jones  
20 Van Buren St  
Warwick, NY 10990

210-11-15  
Robert & Tracy Ritchie  
22 Orchard St  
Warwick, NY 10990

213-2-6  
James H & Mary Feldner  
23 Orchard St  
Warwick, NY 10990

210-11-14  
Maria Knopf  
24 Orchard St  
Warwick, NY 10990

210-11-13  
A K Rentals LLC  
18 Elm St  
Warwick, NY 10990

210-13-11  
(1/2) William Rieschl (1/2) Nancy Heitman  
Rieschl, William (1/2)  
24 Galloway Rd  
Warwick, NY 10990

213-2-8  
Alicyn Harkness  
10 Welling Ave  
Warwick, NY 10990

213-2-10  
Daniel & Theresa Mack  
14 Welling Ave  
Warwick, NY 10990

210-12-21  
Margaret Ann Bowes &  
Ann Dowling  
17 Van Buren St  
Warwick, NY 10990

210-13-16  
Mr. & Mrs. Frank  
19 Howe St  
Warwick, NY 10990

210-13-15  
Pasco LLC  
21 Overlook Dr  
Warwick, NY 10990

210-13-8  
(22 Van Buren St.)  
B D Closers LLC 21 E.  
Crossman Ave  
Monroe, NY 10950

210-12-19  
Ronald E McCormick  
23 Van Buren St  
Warwick, NY 10990

210-13-9  
Steven M Levitt &  
Susan, Diamond  
24 Van Buren St  
Warwick, NY 10990

210-13-10  
Thomas Fritzky  
26 Van Buren St  
Warwick, NY 10990

213-2-5  
Lois A & Neil Ryan  
29 Orchard St Warwick,  
NY 10990

213-2-17.3  
Warwick Community  
11 Hamilton Ave  
Warwick, NY 10990

210-12-22  
Joseph A & Patricia  
Burghardt  
15 Van Buren St  
Warwick, NY 10990

210-11-16.22  
M & L Equity Auto LLC  
18 Elm St  
Warwick, NY 10990

210-12-20  
Kenneth & Elanor  
Bowman  
19 Van Buren Street  
Warwick, NY 10990

210-11-10  
Richard Hartman  
30 Orchard Street  
Warwick, NY 10990

210-13-14  
John & Dina De Lucia  
23 Howe St  
Warwick, NY 10990

210-11-11  
A K Rentals LLC  
18 Elm St  
Warwick, NY 10990

210-12-18  
Michael Vanmansart 25  
Van Buren St Warwick,  
NY 10990

210-12-17  
Jason C Thiessen  
27 Van Buren St  
Warwick, NY 10990

210-12-16  
George M & Nydia  
Feldner Jr  
29 Van Buren Street  
Warwick, NY 10990

210-12-15.1 Vita Scaturro 3 Factory St Warwick, NY 10990	213-2-21 Ryan Paul Norma Bryant, 3 Hamilton Avenue Warwick, NY 10990	210-11-8.2 Richard D Hartman Jr 30 Orchard Street Warwick , NY 10990
213-2-4 Mr. & Mrs. Mondello (LE) 31 Orchard St Warwick, NY 10990	210-11-7.2 Richard D Hartman Jr 30 Orchard Street Warwick, NY 10990	213-2-3 Matthew Spain 35 Orchard St Warwick, NY 10990
210-11-6 A K Rental LLC 18 Elm St Warwick, NY 10990	210-11-16.12 Michael J Beams and James L Beams 38 Orchard St Warwick, NY 10990	213-2-2 Julia L Doty 39 Orchard St Warwick, NY 10990
210-11-16.11 Mr. & Mrs. Wilson 242 Fox Hill Rd Mountaintale, NY 12763	210-11-5 Vanessa Mann 42 Orchard St Warwick, NY 10990	210-11-4 AK 44 Orchard LLC 44 Orchard St Warwick, NY 10990
213-1-2.2 Warwick Valley Country PO BOX 321 Warwick, NY 10990	210-11-3 Allison Berman 48 Orchard St Warwick, NY 10990	213-2-20 5 Hamilton Ave Eva Gaspari 6 Bradner Dr Warwick, NY 10990
210-11-2 Housing Trust Fund Corp 38-40 State Street Albany, NY 12207	54 Orchard Theodore DeLaunay 2902 Whispering Hills Terr Chester, NY 10918	210-13-12 Nydia R Feldner 29 Van Buren St Warwick, NY 10990
213-2-7 Maureen C. McDermott Irrev. Trust 6 Welling Ave Warwick, NY 10990	213-2-19 Mr. & Mrs. Spergel 7 Hamilton Ave Warwick, NY 10990	213-2-18 Mr. & Mrs. Rosen 9 Hamilton Ave Warwick, NY 10990
210-12-13 Mr. & Mrs. DellaPia 51 West St Warwick, NY 10990	210-12-14 John Christison 16 Elm St Warwick, NY 10990	213-1-2.1 Village of Warwick 77 Main St Warwick, NY 10990
210-8-1 RR LLC Middletown & New Jersey 505 South Broad St Kennett Square, PA 19348	213-1-1 Warwick Valley Country PO BOX 321 Warwick, NY 10990	213-2-9.2 Mr. & Mrs. Mondello 31 Orchard St Warwick, NY 10990



VILLAGE OF WARWICK  
INCORPORATED 1867

April 9, 2025

Mayor Michael Newhard and Village Board of Trustees  
Village of Warwick  
77 Main Street  
Warwick, NY 10990

RECEIVED

APR 10 2025

VILLAGE OF WARWICK  
CLERK'S OFFICE

Re: Petition to Amend Zoning Designation  
SBL: 210-11-5

Dear Mayor Newhard and Village Board of Trustees:

Please allow this letter to serve as the Planning Board's report in accordance with § 145-170 of the Village of Warwick Zoning Code.

The Planning Board has previously considered the application of M & L EQUITY AUTO LLC and VANESSA MANN which seeks to alter the existing lot line between 18 Elm Street (SBL 210-11-16.22) and 42 Orchard Street (SBL 210-11-5). Such alteration consists of transferring 5,963 square feet from 42 Orchard Street to 18 Elm Street. The purpose of the project is to eliminate the existing encroachment of M&L Equity Auto facilities across the rear of the Mann property (42 Orchard Street). Other than the installation of additional screening in the form of landscaping and a fence, the application does not propose any new construction.

As part of the Planning Board's review, the Planning Board considered and made a condition of its subdivision/site plan approval the granting of a zone change for the portion of property being transferred to M&L Equity Auto from Residential (R) to Light Industrial (LI). As such, the Planning Board took into account the proposed zone change when making its findings.

The Planning Board has no objection to the zone change as proposed. We note for the Village Board that the applicant must satisfy the remaining conditions as set forth on the Planning Board's conditional site plan and subdivision approval.

This letter was discussed at the Planning Board's meeting held on April 8, 2025, and authorized by a vote of 5 in favor, 0 against and 1 absent.

Very Truly Yours,

Jesse Gallo  
Chairman



Sтивен M. Neuhaus  
County Executive

## Orange County Department of Planning

124 Main Street  
Goshen, NY 10924-2124  
Tel: (845) 615-3840  
Fax: (845) 291-2533

Alan J. Sorensen, FAICP  
Commissioner

[www.orangecountygov.com/planning](http://www.orangecountygov.com/planning)  
[planning@orangecountygov.com](mailto:planning@orangecountygov.com)

### County Reply – Mandatory Review of Local Planning Action as per NYS General Municipal Law §239-l, m, &n

**Local Referring Board:** Village of Warwick Village Board

**Applicant:** Vanessa Mann & M&L Equity Auto LLC

**Project Name:** 42 Orchard Street

**Reason for County Review:** Zoning amendment

**Proposed Action:** Zoning modification to above SBL

**Location:** 42 Orchard Street

**Date of Full Statement:** April 10, 2025

**Referral ID #:** WRV01-25M

**Tax Map #:** 210-11-5

**Local File #:** None Provided

#### Comments:


The Department has received the above zoning modification from Residential to the Light Industrial zoning district. This office has found no evidence that significant intermunicipal or countywide impacts would result from its approval.

#### County Recommendation:

#### Local Determination

**Date:** April 23, 2025

**Prepared by:** Kate Schmidt  
Planner

  
Alan J. Sorensen, FAICP  
Commissioner of Planning

As per NYS General Municipal Law 239-m & n, within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at [www.orangecountygov.com/planning](http://www.orangecountygov.com/planning).



Montgomery Office:

71 Clinton Street  
Montgomery, NY 12549

Goshen Office:

262 Greenwich Ave, Ste B  
Goshen, NY 10924

(845) 457 - 7727

[www.EngineeringPropertiesPC.com](http://www.EngineeringPropertiesPC.com)

April 10, 2025

**VILLAGE OF WARWICK BOARD OF TRUSTEES  
77 MAIN STREET  
WARWICK, NY 10990**

**RECEIVED**

**APR 10 2025**

**VILLAGE OF WARWICK  
CLERK'S OFFICE**

**ATT: MAYOR MICHAEL NEWHARD**

Re: 42 Orchard Street Zone Petition  
Section 210, Block 11, Lot 5  
W.O. #1803.13

Dear Mayor Newhard and Trustees:

We have reviewed the petition to amend the zoning for a portion of the property located at 42 Orchard Street as prepared by Robert Krahulik on behalf of Vanessa Mann and M&L Equity Auto LLC on October 2, 2024, including additional documentation dated March 6, 2025.

We provide the following review comments on the provided Full EAF Part 1:

Page 3:

- Question C.3.a was answered 'Yes' and should list the affected zones of Residential (R) and Light Industrial (LI).

Page 10:

- Question E.1.g should be answered 'Yes', since the project site adjoins property which is now or was at one time used to store hazardous waste (waste oil, tires, batteries).
- Question E.1.h.iii. should be answered 'Yes' and provide DEC ID number 336061, as the project site is within 2,000' of a DEC Remediation Site (26 Railroad Ave).
- Question E.1.h.iv. should provide an explanation that the New Grange Properties DEC Remediation Site located at 26 Railroad Avenue, was completed in 2006.

Page 11:

- Question E.2.e should be answered as 100% of the site contains Poorly Drained soils.
- Question E.2.h.i should be answered 'Yes', due to the proximity to Wawayanda Creek.
- Question E.2.h.v should be answered 'No'
- Question E.2.i should be answered 'Yes' as the project site is within a Floodway.

- Question E.2.I should be answered 'Yes' and provide the following information in the follow-up question: "Principal Aquifer, Sole Source Aquifer: Northwest NJ 15 Basin SSA"

Page 12:

- Question E.2.o should be answered 'Yes'
- Question E.2.o.i should be answered 'Indiana Bat'

Page 13:

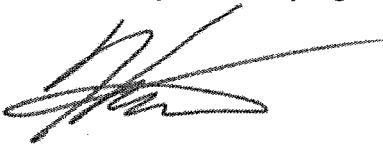
- Question E.3.e should be answered 'Yes'
- Question E.3.e.ii should list "Eligible property: Terra Cotta House III, Eligible property: Terra Cotta House IV"
- Question E.3.f. should be answered 'Yes'

**General Comments:**

1. The majority of the changes to the Full EAF Part 1 outlined above, are the result of utilizing the online NYSDEC EAF Mapping Tool. As stipulated by the DEC: "If the applicant or project sponsor believes any of the questions filled out by the EAF Mapper are incorrect, supplemental information should be provided to the reviewing agency that explains that discrepancy."
2. As the proposed action only intends to disturb the portions of the property necessary to install the proposed landscaping and fencing, detailed on the accompanying plan, it is anticipated that the proposed action should not impact the items identified in EAF Questions E.2 and E.3.
3. Our office finds the legal description entitled "Description of Lot 2" as provided, acceptable.

Sincerely,

Engineering & Surveying Properties, PC, Village Engineers



Keith Woodruff, CFM, CPESC  
Senior Engineer



**BEATTIE & KRAHULIK**

Attorneys At Law  
Two Bank Street  
Warwick, New York 10990  
(845) 986-1156  
Fax (845) 986-9421  
[www.hudsonvalleylaw.us](http://www.hudsonvalleylaw.us)

Hon. John J. Beattie (1872-1924)  
Clifford S. Beattie (1899-1952)  
John J. Beattie, III (1937-1984)  
Emil R. Krahulik (1959-2013)

Robert E. Krahulik\*

\*Also admitted in FL and NJ  
bob@hudsonvalleylaw.us  
Karen Costanzo, Paralegal  
karen@hudsonvalleylaw.us

May 12, 2025

Mayor Michael Newhard  
Village of Warwick  
77 Main Street  
Warwick, New York 10990

**RECEIVED**

**MAY 12 2025**

**VILLAGE OF WARWICK  
CLERK'S OFFICE**

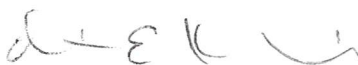
Re: M&L Equity - 42 Orchard Street

Dear Mayor Newhard:

Enclosed is the amended Part 1 of the Full EAF concerning the above referenced matter. I have incorporated all revisions requested by Keith Woodruff, PE in his letter of April 10, 2025. Also enclosed is the list of property owners within 500' and my certified mailing receipts.

Very truly yours,

BEATTIE & KRAHULIK



ROBERT E. KRAHULIK

REK:kc

Encl.

cc: Keith Woodruff, PE  
Stephen Gaba, Esq.



**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

<b>Name of Action or Project:</b> M&L Equity Auto LLC		
<b>Project Location (describe, and attach a general location map):</b> 42 Orchard Street, Village of Warwick, County of Orange State of New York		
<b>Brief Description of Proposed Action (include purpose or need):</b> Petition to change the zoning classification on 5,963 square feet of land located at 42 Orchard Street, Village of Warwick from Residential (R) zoning classification to Light Industrial (LI) Zoning Classification.		
<b>Name of Applicant/Sponsor:</b> M&L Equity Auto LLC-	<b>Telephone:</b> 845.544.4869	
	<b>E-Mail:</b> akleduc@yahoo.com	
<b>Address:</b> 18 Elm Street,		
<b>City/PO:</b> Warwick	<b>State:</b> Ne York	<b>Zip Code:</b> 10990
<b>Project Contact (if not same as sponsor; give name and title/role):</b> Robert E Krahulik, Esq. (attorney for applicant)	<b>Telephone:</b> 845.986.1156	
	<b>E-Mail:</b> bob@hudsonvalleylaw.us	
<b>Address:</b> 2 Bank Street		
<b>City/PO:</b> Warwick	<b>State:</b> NY	<b>Zip Code:</b> 10990
<b>Property Owner (if not same as sponsor):</b> Vanessa Mann	<b>Telephone:</b>	
	<b>E-Mail:</b>	
<b>Address:</b> 42 Orchard Street		
<b>City/PO:</b> Warwick	<b>State:</b> NY	<b>Zip Code:</b> 10990

## B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Village Board, Village of Warwick approval for zone change	10/1/2024
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Planning Board, Village of Warwick- Subdivision	10/1/2024
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

## C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, identify the plan(s): _____ _____ _____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, identify the plan(s): _____ _____ _____	

### C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No

If Yes, what is the zoning classification(s) including any applicable overlay district?

Residential (R) and Light Industrial (LI)

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☒ Yes ☐ No

If Yes,

i. What is the proposed new zoning for the site? Light Industrial (LI)

### C.4. Existing community services.

a. In what school district is the project site located? Warwick Central School District

b. What police or other public protection forces serve the project site?

Town of Warwick Police Department

c. Which fire protection and emergency medical services serve the project site?

Warwick Fire Department

d. What parks serve the project site?

Memorial Park. Stanley Demming Park

### D. Project Details

#### D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

Industrial

b. a. Total acreage of the site of the proposed action? less than 1 acres

b. Total acreage to be physically disturbed? 0 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 1.742 acres

c. Is the proposed action an expansion of an existing project or use? ☒ Yes ☐ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 13% Units: 5,963 square feet

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☒ No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_

- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year

- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes,	
i. Total number of structures _____	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <span style="float: right;"> <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____         </span>	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? <ul style="list-style-type: none"> <li>• Volume (specify tons or cubic yards): _____</li> <li>• Over what duration of time? _____</li> </ul>	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☒ No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☒ No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water? ☐ Yes ☒ No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☐ Yes ☒ No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal? ☐ Yes ☒ No
- Is the project site in the existing district? ☐ Yes ☒ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☐ Yes ☒ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes? ☐ Yes ☒ No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☒ No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☒ No
- Is the project site in the existing district? ☐ Yes ☒ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? _____</li> <li>• Will a line extension within an existing district be necessary to serve the project? _____</li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____</li> </ul>	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____	
If Yes: <ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> <li>i. How much impervious surface will the project create in relation to total size of project parcel?                  _____ Square feet or _____ acres (impervious surface)                  _____ Square feet or _____ acres (parcel size)</li> <li>ii. Describe types of new point sources. _____</li> <li>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____</li> </ul>	
• If to surface waters, identify receiving water bodies or wetlands: _____	
• Will stormwater runoff flow to adjacent properties? _____	
<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify: <ul style="list-style-type: none"> <li>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</li> <li>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</li> <li>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</li> </ul>	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> <li>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</li> <li>ii. In addition to emissions as calculated in the application, the project will generate:             <ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul> </li> </ul>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? ☐ Yes ☒ No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? ☐ Yes ☒ No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? ☐ Yes ☒ No

If Yes:

i. When is the peak traffic expected (Check all that apply): ☐ Morning ☐ Evening ☐ Weekend  
☐ Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

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iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking? ☐ Yes ☐ No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? ☐ Yes ☐ No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? ☐ Yes ☐ No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? ☐ Yes ☐ No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? ☐ Yes ☒ No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

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ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

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iii. Will the proposed action require a new, or an upgrade, to an existing substation? ☐ Yes ☐ No

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l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: \_\_\_\_\_
- Saturday: \_\_\_\_\_
- Sunday: \_\_\_\_\_
- Holidays: \_\_\_\_\_

ii. During Operations:

- Monday - Friday: \_\_\_\_\_ 8AM to 5:30PM
- Saturday: \_\_\_\_\_ 8AM to 5:30PM
- Sunday: \_\_\_\_\_ 8AM to 5:30PM
- Holidays: \_\_\_\_\_ 8AM to 5:30 PM

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	



s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_
- ii. Anticipated rate of disposal/processing:
  - \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
  - \_\_\_\_\_ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_
- ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_
- iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

## E. Site and Setting of Proposed Action

### E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- ☐ Urban ☒ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)  
☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.742	1.742	0
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_  
\_\_\_\_\_

e. Does the project site contain an existing dam? ☐ Yes ☒ No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No  
If Yes:  
i. Has the facility been formally closed? ☐ Yes ☐ No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
\_\_\_\_\_

iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
\_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☒ Yes ☐ No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
Typically waste management related to automotive recycling such was waste oil, tires and batteries. \_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☒ Yes ☐ No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☒ No  
☐ Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
☐ Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☒ Yes ☐ No  
If yes, provide DEC ID number(s): 336061 (26 Railroad Ave)  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
Remediation complete.

v. Is the project site subject to an institutional control limiting property uses? ☐ Yes ☒ No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place? ☐ Yes ☐ No
- Explain: \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ unknown feet

b. Are there bedrock outcroppings on the project site? ☐ Yes ☒ No  
If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: none \_\_\_\_\_ %  
\_\_\_\_\_ %  
\_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: unknown feet

e. Drainage status of project site soils: ☒ Well Drained: \_\_\_\_\_ % of site  
☐ Moderately Well Drained: \_\_\_\_\_ % of site  
☒ Poorly Drained 100 % of site

f. Approximate proportion of proposed action site with slopes: ☒ 0-10%: \_\_\_\_\_ 100 % of site  
☐ 10-15%: \_\_\_\_\_ % of site  
☐ 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site? ☐ Yes ☒ No  
If Yes, describe: \_\_\_\_\_

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h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? ☒ Yes ☐ No

ii. Do any wetlands or other waterbodies adjoin the project site? ☒ Yes ☐ No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? ☒ Yes ☐ No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name Wawayanda Creek Classification C
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? ☐ Yes ☒ No  
If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

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i. Is the project site in a designated Floodway? ☒ Yes ☐ No

j. Is the project site in the 100-year Floodplain? ☒ Yes ☐ No

k. Is the project site in the 500-year Floodplain? ☒ Yes ☐ No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? ☒ Yes ☐ No  
If Yes:

i. Name of aquifer: Principal Aquifer, Sole Source Aquifer: Northwest NS 15 basin  
SSA

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>none _____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>ii. Source(s) of description or evaluation: _____</p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Species and listing (endangered or threatened): <u>Indiana Bat</u></p> <p>_____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Species and listing: _____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>i. If Yes: acreage(s) on project site? _____</p> <p>ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. CEA name: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes: <ul style="list-style-type: none"> <li>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</li> <li>ii. Name: <u>Eligible Property: Terra Cotta House III Eligible Property Terra Cotta House IV</u></li> <li>iii. Brief description of attributes on which listing is based: _____</li> </ul>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes: <ul style="list-style-type: none"> <li>i. Describe possible resource(s): _____</li> <li>ii. Basis for identification: _____</li> </ul>	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes: <ul style="list-style-type: none"> <li>i. Identify resource: _____</li> <li>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</li> <li>iii. Distance between project and resource: _____ miles.</li> </ul>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes: <ul style="list-style-type: none"> <li>i. Identify the name of the river and its designation: _____</li> <li>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> </ul>	

#### F. Additional Information


Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

#### G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name M&L Auto Equity LLC By Paul LeDuc Date 2-25-2025

Signature  Title Member

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]  
 Project : 42 Orchard St Zone Change  
 Date : 04/10/2025

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b> Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

☒ NO☐ YES

*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

☒ NO☐ YES

*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>



g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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<b>6. Impacts on Air</b> The proposed action may include a state regulated air emission source. <span style="float: right;"><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</span> (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b> The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <span style="float: right;"><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES</span> <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b> The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b> The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>		
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>		
e. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>		

<b>12. Impact on Critical Environmental Areas</b> The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>				<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>		
c. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>		

**13. Impact on Transportation**

The proposed action may result in a change to existing transportation systems.

☒ NO☐ YES

(See Part 1. D.2.j)

*If "Yes", answer questions a - f. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**

The proposed action may cause an increase in the use of any form of energy.

☒ NO☐ YES

(See Part 1. D.2.k)

*If "Yes", answer questions a - e. If "No", go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

**15. Impact on Noise, Odor, and Light**

The proposed action may result in an increase in noise, odors, or outdoor lighting.

☒ NO☐ YES

(See Part 1. D.2.m., n., and o.)

*If "Yes", answer questions a - f. If "No", go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

#### 16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)

☒ NO

☐ YES

*If "Yes", answer questions a - m. If "No", go to Section 17.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

**17. Consistency with Community Plans**

The proposed action is not consistent with adopted land use plans.

(See Part 1. C.1, C.2. and C.3.)

If "Yes", answer questions a - h. If "No", go to Section 18.

☒ NO

☐ YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**18. Consistency with Community Character**

The proposed project is inconsistent with the existing community character.

(See Part 1. C.2, C.3, D.2, E.3)

If "Yes", answer questions a - g. If "No", proceed to Part 3.

☒ NO

☐ YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

STATE ENVIRONMENTAL QUALITY REVIEW  
NEGATIVE DECLARATION

NOTICE OF DETERMINATION OF NON-SIGNIFICANCE

May 19, 2025

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Village of Warwick Village Board, as Lead Agency, has determined that the proposed action described below will not have a significant environmental impact and a Draft Impact Statement will not be prepared.

Name of Action: The adoption of a local law to amend Town Code Chapter 145 entitled "Zoning" to change the zoning designation of certain real property located at 42 Orchard Street from Residential ("R") to Light Industrial ("LI").

Action Type: Unlisted Action

Conditioned Negative Declaration: No

Description of Action: The owners of certain real property located at 42 Orchard Street propose to change the zoning designation from Residential ("R") to Light Industrial ("LI") so that the land can be incorporated into an adjoining car wash business.

Contact Person: Michael J. Newhard, Mayor, Village of Warwick Village Hall, 77 Main Street, PO Box 369, Warwick, New York 10990. Telephone (845) 986-2031.

Location: 42 Orchard Street, Warwick, New York

Reasons Supporting Negative Declaration:

The Village Planning Board, in an uncoordinated review, adopted a Negative Declaration on the proposed action. The Village Board accepts and adopts as its own the Planning Board's findings. Further, as is more fully explained in the EAF, no potential significant adverse environmental impacts are associated with the proposed action. The property at issue is currently being used for parking and snow storage by the adjoining car wash, and has been so used for many years. The zoning amendment allowing its incorporation into the car wash property will have no adverse environmental impacts.



**VILLAGE OF WARWICK  
VILLAGE BOARD  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a PUBLIC HEARING will be held by the Village Board of the Village of Warwick at Village Hall, 77 Main Street, Warwick, New York 10990 on the 19<sup>th</sup> day of May 2025 at 7:30 p.m. or as soon thereafter as the matter can be heard on a proposed local law entitled "A local law amending Village of Warwick Village Code Chapter 69, 'Flood Damage Prevention,' to repeal and re-enact subsection 4.1, entitled 'Designation Of The Local Administrator'."

A copy of the proposed local law is on file in the office of the Village Clerk and available for inspection by interested persons during Village Clerk's business hours. The proposed local law has also been posted on the Village's website <https://villageofwarwick.org/>.

The Village Board will at the above-stated date, time and place hear all persons interested in the subject matter hereof. Persons may appear in person or by agent. All written communications addressed to the Village Board must be received by the Village Board at or prior to the public hearing.

BY ORDER OF THE VILLAGE BOARD  
VILLAGE OF WARWICK  
RAINA ABRAMSON  
VILLAGE CLERK

Dated: April 16, 2025



## Orange County Department of Planning

124 Main Street  
Goshen, NY 10924-2124  
Tel: (845) 615-3840  
Fax: (845) 291-2533

Alan J. Sorensen, FAICP  
Commissioner

[www.orangecountygov.com/planning](http://www.orangecountygov.com/planning)  
[planning@orangecountygov.com](mailto:planning@orangecountygov.com)

### County Reply – Mandatory Review of Local Planning Action as per NYS General Municipal Law §239-l, m, & n

**Local Referring Board:** Village of Warwick Village Board

**Referral ID #:** WRV03-25M

**Applicant:** Village of Warwick

**Tax Map #:** Village-wide

**Project Name:** Amendment to Village Code Zoning Chapter 69

**Reason for County Review:** Local Law- Amendment to Village Code Chapter 69

**Proposed Action:** Zoning Amendment to Village Code Chapter 69, 'Flood Damage Prevention,' to repeal and re-enact subsection 4.1 entitled 'Designation of the Local Administrator'

**Proposed Action:** Zoning Amendment

**Date of Full Statement:** April 16, 2025

#### Comments:


The Department has reviewed the above zoning amendment in accordance with section 239, paragraphs l, m, and n of the General Municipal Law. This office has found no evidence that significant intermunicipal or countywide impacts would result from its approval.

**County Recommendation:**

**Local Determination**

**Date:** April 23, 2025

**Prepared by:** Kate Schmidt  
Planner

  
Alan J. Sorensen, FAICP  
Commissioner of Planning

As per NYS General Municipal Law 239-m & n, within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at [www.orangecountygov.com/planning](http://www.orangecountygov.com/planning).

77 Main Street  
Post Office Box 369  
Warwick, NY 10990  
www.villageofwarwick.org



(845) 986-2031  
FAX (845) 986-6884  
mayor@villageofwarwick.org  
clerk@villageofwarwick.org

## VILLAGE OF WARWICK

INCORPORATED 1867

Mayor Michael Newhard  
Village Board of Trustees  
Village of Warwick  
77 Main Street  
Warwick, NY 10990

Re: Request for Changes to the Village Code

Dear Mayor Newhard and Village Trustees:

Through the Planning Board's recent review of various applications, it has been identified that areas of the Village Code should be reviewed by the Village Board for potential revision. At a regularly scheduled Planning Board meeting held on October 8, 2024, two such areas of the Village Code were discussed in detail: the timing of Zoning Board of Appeals variance expiration and the flood damage prevention law. I will address each in turn.

### Expiration of Variances by the Zoning Board of Appeals:

At present, the Village Code reads as follows:

*§ 145-152 (L) - Unless construction is commenced and diligently pursued with six (6) months of the date of the granting of a variance or special permit, such variance shall become null and void.*

Over the past several months, there have been several applicants requiring both area variances and site plan approval. The limited time for a granted variance presents a challenge as even a straightforward or minor application for site plan can extend several months prior to approval. In the absence of an extension mechanism, there is a potential that an applicant's variance would expire prior to receiving required site plan approval or Village Board approval, if required, even though the applicant pursued applications diligently and in good faith. The harsh consequence is that the applicant would be required to start anew with the Zoning Board of Appeals at additional time and expense.

We recommend the following language be considered to revise the Village Code:

*Expiration. Unless otherwise specified, any order or decision of the Zoning Board of Appeals shall expire if a building or occupancy permit for the use is not obtained by the applicant within 180 days from the date of the decision. Should the proposal also require approval from the Village of Warwick Planning Board and/or Village Board, the 180-day expiration window shall run from the date of final Planning Board and/or Village*

*Board approval. In all cases, the Zoning Board of Appeals may extend this time for one additional period of 90 days if such extension is warranted by the particular circumstances.*

*Any order or decision for proposals not requiring a building permit shall expire if a Certificate of Occupancy is not obtained within 180 days of the Zoning Board of Appeals order or decision.*

The Planning Board believes such amendment will allow applicants to go through the timely and proper review process without fear of an unnecessary variance expiration.

Flood Damage Prevention Law:

Under the Village's Flood Damage Prevention Law (Chapter 69), the Planning Board is the appointed Local Administrator of Floodplain Development Permits. Floodplain Development Permits frequently involve technical review beyond the knowledge base of the Planning Board members. We recommend that the Building Inspector be designated as the Local Administrator under the law. This is consistent with other surrounding area municipalities (Town of Warwick, Village of Greenwood Lake, Town of Chester and Village of Florida). The Village Engineer could be authorized to assist in such reviews when necessary. The Planning Board anticipates the added workload to be minimal based on the history of permit applications received. We further recommend that the Village evaluate whether the law needs to be updated to reflect changes to flood standards.

We thank the Village Board for its consideration of the above recommendations.

Sincerely,



Jesse N. Gallo  
Chairman

Village of Warwick Planning Board

Cc: Kristin Bialosky, Planning Board Secretary  
Elizabeth Cassidy, Attorney to the Planning Board  
Keith Woodruff, Village Engineer  
John Graney, Chair of the ZBA  
Ashley Torre, Attorney to the ZBA

VILLAGE OF WARWICK  
LOCAL LAW NO. \_\_ OF THE YEAR 2025

A local law amending Village of Warwick Village Code Chapter 69, "Flood Damage Prevention," to repeal and re-enact subsection 4.1, entitled "Designation Of The Local Administrator".

SECTION 1. PURPOSE

The purpose of this Local Law is to promote the public health, safety and welfare by amending Village of Warwick Village Code Chapter 69, "Flood Damage Prevention," to change the designation of the Local Administrator from the Planning Board to the Building Inspector.

SECTION 2. MUNICIPAL HOME RULE LAW:

This law is adopted pursuant to the provisions of the Municipal Home Rule Law §10(1)(ii)(a)(1) which grants local governments the authority to enact local laws regarding the public health, safety and welfare. To the extent the provisions of this Local Law are in conflict with State law, the Village Board hereby asserts its intention to supersede same pursuant to the Municipal Home Rule.

SECTION 3. AMENDMENT OF VILLAGE CODE:

Village of Warwick Village Code Chapter 69, entitled "Flood Damage Prevention," is hereby amended to repeal subsection 4.1, entitled "Designation Of The Local Administrator", of Section 4.0, entitled "Administration", and to re-enact subsection 4.1 to read as follows:

"The Building Inspector of the Village of Warwick is hereby appointed Local Administrator to administer and implement the provisions of this Chapter by granting or denying floodplain development permits in accordance with its provisions. In reaching a determination on the grant or denial of applications for floodplain development permits, the Building Inspector shall consult, as necessary, with the Village's Engineering consultant."

SECTION 4. SEVERABILITY

If any clause, sentence, paragraph, word, section or part of this local law shall be judged by any court of competent jurisdiction to be unconstitutional, illegal or invalid, such judgment shall not affect, impair or invalidate the remainder thereof, but shall be confined in its operation to the clause, sentence, paragraph, word, section or part thereof directly involved in the controversy in which judgment shall have been rendered.

SECTION 5. EFFECTIVE DATE

This local law will take effect immediately upon filing in the Office of the Secretary of State in Albany.

**VILLAGE OF WARWICK  
VILLAGE BOARD  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a PUBLIC HEARING will be held by the Village Board of the Village of Warwick at Village Hall, 77 Main Street, Warwick, New York 10990 on the 19<sup>th</sup> day of May 2025 at 7:30 p.m. or as soon thereafter as the matter can be heard on a proposed local law entitled "A local law amending Village of Warwick Village Code Chapter 145, 'Zoning,' to repeal and re-enact subsection 145-152(L) regarding the duration of variances".

A copy of the proposed local law is on file in the office of the Village Clerk and available for inspection by interested persons during Village Clerk's business hours. The proposed local law has also been posted on the Village's website <https://villageofwarwick.org/>.

The Village Board will at the above-stated date, time and place hear all persons interested in the subject matter hereof. Persons may appear in person or by agent. All written communications addressed to the Village Board must be received by the Village Board at or prior to the public hearing.

BY ORDER OF THE VILLAGE BOARD  
VILLAGE OF WARWICK  
RAINA ABRAMSON  
VILLAGE CLERK

Dated: April 16, 2025

**VILLAGE OF WARWICK  
LOCAL LAW NO. \_\_ OF THE YEAR 2025**

A local law amending Village of Warwick Village Code Chapter 145, "Zoning," to repeal and re-enact subsection 145-152(L) regarding the duration of approvals issued by the Village Zoning Board of Appeals.

**SECTION 1. PURPOSE**

The purpose of this Local Law is to promote the public health, safety and welfare by amending Village of Warwick Village Code Section 145-152(L) to set forth more efficient provisions for the duration of approvals issued by the Village Zoning Board of Appeals.

**SECTION 2. MUNICIPAL HOME RULE LAW:**

This law is adopted pursuant to the provisions of the Municipal Home Rule Law § 10(1)(ii)(a)(1) which grants local governments the authority to enact local laws regarding the public health, safety and welfare. To the extent the provisions of this Local Law are in conflict with State law, the Village Board hereby asserts its intention to supersede same pursuant to the Municipal Home Rule.

**SECTION 3. AMENDMENT OF VILLAGE CODE:**

Village of Warwick Village Code Chapter 145, entitled "Zoning", is hereby amended to repeal subsection "L" of Section 145-152, entitled "Rules of Procedure", and to re-enact subsection "L" to read as follows:

"Expiration. Unless otherwise specified, any order or decision of the Zoning Board of Appeals shall expire if a building or occupancy permit for the use is not obtained by the applicant within 180 days from the date of the decision. Should the proposal also require approval from the Village of Warwick Planning Board and/or Village Board, the 180-day expiration window shall run from the date of final Planning Board and/or Village Board approval. In all cases, the Zoning Board of Appeals may extend this time for one additional period of 90 days if such extension is warranted by the particular circumstances. Any order or decision for proposals not requiring a building permit shall expire if a Certificate of Occupancy is not obtained within 180 days of the Zoning Board of Appeals order or decision."

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to the clause, sentence, paragraph, word, section or part thereof directly involved in the controversy in which judgment shall have been rendered.

SECTION 5. EFFECTIVE DATE

This local law will take effect immediately upon filing in the Office of the Secretary of State in Albany.



Steven M. Neuhaus  
County Executive

## Orange County Department of Planning

124 Main Street  
Goshen, NY 10924-2124  
Tel: (845) 615-3840  
Fax: (845) 291-2533

Alan J. Sorensen, FAICP  
Commissioner

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[planning@orangecountygov.com](mailto:planning@orangecountygov.com)

### County Reply – Mandatory Review of Local Planning Action as per NYS General Municipal Law §239-l, m, &n

**Local Referring Board:** Village of Warwick Village Board

**Referral ID #:** WRV02-25M

**Applicant:** Village of Warwick

**Tax Map #:** Village-wide

**Project Name:** Amendment to Village Code Zoning Chapter 145-152(L)

**Reason for County Review:** Local Law- Zoning Amendment

**Proposed Action:** Zoning Amendment

**Date of Full Statement:** April 16, 2025

**Comments:**


The Department has received the above zoning amendment to repeal Village Code Chapter 145-152(L) and re-enact subsection 145-152(L). This office has found no evidence that significant intermunicipal or countywide impacts would result from its approval.

**County Recommendation:**

**Local Determination**

**Date:** April 23, 2025

**Prepared by:** Kate Schmidt  
Planner

  
Alan J. Sorensen, FAICP  
Commissioner of Planning

As per NYS General Municipal Law 239-m & n, within 30 days of municipal final action on the above referred project, the referring board must file a report of the final action taken with the County Planning Department. For such filing, please use the final action report form attached to this review or available on-line at [www.orangecountygov.com/planning](http://www.orangecountygov.com/planning).

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## VILLAGE OF WARWICK

INCORPORATED 1867

Mayor Michael Newhard  
Village Board of Trustees  
Village of Warwick  
77 Main Street  
Warwick, NY 10990

Re: Request for Changes to the Village Code

Dear Mayor Newhard and Village Trustees:

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### Expiration of Variances by the Zoning Board of Appeals:

At present, the Village Code reads as follows:

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Over the past several months, there have been several applicants requiring both area variances and site plan approval. The limited time for a granted variance presents a challenge as even a straightforward or minor application for site plan can extend several months prior to approval. In the absence of an extension mechanism, there is a potential that an applicant's variance would expire prior to receiving required site plan approval or Village Board approval, if required, even though the applicant pursued applications diligently and in good faith. The harsh consequence is that the applicant would be required to start anew with the Zoning Board of Appeals at additional time and expense.

We recommend the following language be considered to revise the Village Code:

*Expiration. Unless otherwise specified, any order or decision of the Zoning Board of Appeals shall expire if a building or occupancy permit for the use is not obtained by the applicant within 180 days from the date of the decision. Should the proposal also require approval from the Village of Warwick Planning Board and/or Village Board, the 180-day expiration window shall run from the date of final Planning Board and/or Village*

*Board approval. In all cases, the Zoning Board of Appeals may extend this time for one additional period of 90 days if such extension is warranted by the particular circumstances.*

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We thank the Village Board for its consideration of the above recommendations.

Sincerely,



Jesse N. Gallo  
Chairman

Village of Warwick Planning Board

Cc: Kristin Bialosky, Planning Board Secretary  
Elizabeth Cassidy, Attorney to the Planning Board  
Keith Woodruff, Village Engineer  
John Graney, Chair of the ZBA  
Ashley Torre, Attorney to the ZBA

**STATE ENVIRONMENTAL QUALITY REVIEW ACT**  
**NEGATIVE DECLARATION**  
**NOTICE OF DETERMINATION OF NON-SIGNIFICANCE**

May 19, 2025

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Act) of the Environmental Conservation Law.

The Village of Warwick as Lead Agency has determined that the proposed action described below does not present any potential significant adverse environmental impacts and a Draft Environmental Impact Statement will not be prepared.

**Name of Action:** The adoption of a local law entitled: "A local law amending Village of Warwick Village Code Chapter 145, 'Zoning,' to repeal and re-enact subsection 145-152(L) regarding the duration of approvals issued by the Village Zoning Board of Appeals."

**Action Type:** Unlisted

**Conditioned Negative Declaration:** No

**Description of Action:** The Village of Warwick is enacting a local law repealing and re-enacting Zoning Code §145-152(L) regarding the duration of approvals issued by the Village Zoning Board of Appeals.

**Contact Person:** Michael J. Newhard, Mayor, Village of Warwick, Village Hall, 77 Main Street, PO Box 369, Warwick, NY 10990.

**Location:** Village-wide.

**Reasons Supporting Negative Declaration:**

As is explained in the SEAF Part III, the Zoning Amendment being enacted is purely procedural. It extends the duration of variances granted by the ZBA in regard to issuance of a building permit or CO. It does not allow any new, different, or additional land development.

# Short Environmental Assessment Form



## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Local Law amending Village Code 145-152(L)			
Project Location (describe, and attach a location map): Village-wide			
Brief Description of Proposed Action: The Village Board is considering enacting a local law to amend Village Code 145-152(L) to extend the duration of variances in regard to issuance of a building permit and to allow the ZBA to grant extensions.			
Name of Applicant or Sponsor: Village of Warwick Village Board		Telephone: (845) 986-2031 E-Mail: mayor@villageof warwick.org	
Address: Village Hall, 77 Main Street			
City/PO: Warwick		State: NY	Zip Code: 10990
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Village of Warwick</u> Date: <u>May 19, 2025</u>  Signature: _____      Title: <u>Mayor</u>		



Project: Date: 

## Short Environmental Assessment Form

### Part 2 - Impact Assessment

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Project: Date: 

### **Short Environmental Assessment Form** **Part 3 Determination of Significance**

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

The Zoning Amendment being enacted is purely procedural. It extends the duration of variances granted by the ZBA in regard to issuance of a building permit or CO. It does not allow any new, different, or additional land development.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input checked="" type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
Village Board of the Village of Warwick	May 19, 2025
Name of Lead Agency Michael Newhard	Date Mayor
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**

### **SEAF NARRATIVE DESCRIPTION**

The Village of Warwick is considering adopting a local law to amend the Village Zoning Code to extend the duration of variances granted by the Zoning Board of Appeals in regard to issuance of a building permit or certificate of occupancy, and to allow the Zoning Board of Appeals to grant extensions of time in regard to such variances.

**NOTICE OF PUBLIC HEARING  
ORANGE COUNTY  
COMMUNITY DEVELOPMENT BLOCK GRANT FUNDING  
(CDBG – FY-2026)**

**PLEASE TAKE NOTICE** that on Monday, May 19, 2025, at 7:30 P.M. or as soon thereafter as the matter can be heard, a Public Hearing will be held before the Board of Trustees of the Village of Warwick, New York, at Village Hall, located at 77 Main Street, Warwick, New York. The Village of Warwick will hold a public hearing so that the public may offer comments and suggestions regarding projects to be considered by the Village of Warwick for application of \$75,000 up to \$175,000 for public infrastructure, public improvements, public facilities or other eligible activities to the Orange County Office of Community Development's to be considered for inclusion in the County's 2026 Action Plan to the U.S. Department of Housing and Urban Development (HUD) to be funded by the 2026 Community Development Block Grant (CDBG). The Action Plan functions as a planning document, an application for Federal funds and a strategy to be followed in administering HUD Programs. The 2026 County's Annual Action Plan will be prepared and submitted to HUD on or before November 15, 2025, or upon such date as instructed by HUD.

The purpose of the Public Hearing is to obtain the views of residents of the municipality, public agencies, and other interested parties, on housing and community development needs, to suggest projects to address such needs, and affirmatively further fair housing. There will be a discussion of community development needs within the Village of Warwick, proposed projects, and a review of any previous projects funded with CDBG. Organizations representing people with low and moderate incomes and people with low to moderate incomes are encouraged to attend this hearing so that their views can be heard as the CDBG program benefits people with low to moderate income.

The Village of Warwick will make reasonable accommodation and services necessary for citizens with sensory-impairments and disabilities at the public hearing. Translation services may be offered upon request and availability. People requiring such accommodation/services should contact the Village of Warwick at least three working days in advance of the meeting. People requiring information in alternative formats should contact the Village of Warwick at (845) 986-2031 (TDD Users: 7-1-1 NY Relay Center).

La información será proporcionada en español a petición.

BY ORDER OF THE VILLAGE BOARD  
VILLAGE OF WARWICK  
RAINA ABRAMSON  
VILLAGE CLERK  
DATED: April 24, 2025

**VILLAGE OF WARWICK  
2025 LIST OF HOLIDAYS**

<b>Holiday</b>	<b>Date of Holiday</b>	<b>Date Holiday is Observed by Village Hall</b>
New Year's Day	Wednesday, January 1, 2025	Wednesday, January 1, 2025
Martin Luther King, Jr.	Monday, January 20, 2025	Monday, January 20, 2025
Presidents' Day	Monday February 17, 2025	Monday February 17, 2025
Good Friday	Friday, April 18, 2025	Friday, April 18, 2025
Memorial Day	Monday, May 26, 2025	Monday, May 26, 2025
Juneteenth	Thursday, June 19, 2025	Thursday, June 19, 2025
Independence Day	Friday, July 4, 2025	Friday, July 4, 2025
Labor Day	Monday, September 1, 2025	Monday, September 1, 2025
Columbus Day	Monday, October 13, 2025	Monday, October 13, 2025
Veterans' Day	Tuesday, November 11, 2025	Tuesday, November 11, 2025
Thanksgiving Day	Thursday, November 27, 2025	Thursday, November 27, 2025
Day After Thanksgiving	Friday, November 28, 2025	Friday, November 28, 2025
Christmas Day	Thursday, December 25, 2025	Thursday, December 25, 2025

\* In the event a designated holiday occurs on a Saturday, the holiday shall be observed on the proceeding Friday.

\* In the event a designated holiday occurs on a Sunday, the holiday will be observed on the following Monday.

**RAFA Systems LLC**  
**435 Metroplex Drive**  
**Nashville TN 37211**  
**United States**  
**(716) 258-9396**

## Quote

Acct. No.	Date	Quote #
CUS6022	5/12/2025	QUO5918

Bill To	Ship To
Village of Warwick 77 Main Street PO Box 369 Warwick NY 10990 United States	Village of Warwick 77 Main Street PO Box 369 Warwick NY 10990 United States

PO #	Expiration Date	Terms	Created By	Memo
	6/11/2025	Net 30	Steve Smuda	Maintenance Plan - Router

Line#	Qty	Item	Description	Rate	Amount
	11	Phoenix EasyCell Kit	Phoenix EasyCell	675.00	7,425.00
	11	Maintenance Plan	One-Year Service Agreement /Maintenance Plan  --Two (2) Onsite Appointments to: --Install and Program Network Software in System Controller and Communications Components to Ensure Latest Version Compatibility --Provide Basic Repairs and Maintenance to ensure proper connections at terminal blocks --Addition Repair and Service (If Any) Will be Discussed and Invoiced Separately --Software and/or security upgrades to the older 600/900 controllers are necessary to maintain security levels required. There is a small possibility upgrades may cause a failure of the controller door operation. The controller door will need to be replaced and will be an additional charge.	595.00	6,545.00
	11	R110-001-0	RAFA 1 Activation & Subscription - Provides platform access to the RAFA Systems with real-time cellular communications. This includes access to the RAFA 1 portal's data storage, customized reporting, and access to al RAFA Systems locations. Renewal dates will begin on July 1st of every year and run through June 30th of the following year. Your initial invoice will have a prorated charge on it. Service Start Date: Service End Date:	0.00	0.00
	1	Shipping and Handling	Shipping and Handling	75.00	75.00

**Total** **\$14,045.00**

Accepted Date: \_\_\_\_\_

Accepted By: \_\_\_\_\_



# Barton & Loguidice

May 9, 2025

Hon. Michael J. Newhard, Mayor  
Village of Warwick  
77 Main Street  
Warwick, New York 10990

Re: Supplement for Engineering Services  
WQIP Round 16 Grant Administration Services - Assigned Contract No. C01163GG  
File: 1334.020.001

Dear Mayor Newhard:

Barton & Loguidice, D.P.C. (B&L) provided a proposal to assist the Village with the administration of the WQIP Round 16 grant award of \$288,150 for the Warwick land acquisition back in May 2022 for a fee of \$5,500.

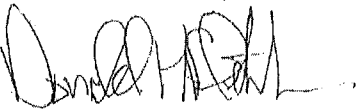
B&L has provided grant administration assistance to the Village in following the grant's specific requirements. B&L has gathered, completed and submitted forms/reports and documentation required under this program. However, the Village has added a fourth parcel to be included in the workplan and along with NYSDEC changing their grant portal process which required additional work. B&L has provided coordination and quotes to the Village for both property appraisals and survey. These quotes are probably out of date and require further coordination. At this time B&L has exhausted the original engineering fee.

Barton & Loguidice will continue to assist the Village with the grant process for an additional Time and Expense fee of \$4,000 in accordance with our current Master Services Agreement. Please note that whatever fee is not used, it will not be billed to the Village.

If you have any questions, please feel free to contact our office.

Sincerely,

BARTON & LOGUIDICE, D.P.C.



Donald H. Fletcher  
Executive Vice President

JAB2/tlh

## Authorization

Barton & Loguidice, D.P.C. is hereby authorized by the Village of Warwick to proceed with the services described herein in accordance with our Master Services Agreement.

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Michael J. Newhard, Mayor  
Village of Warwick

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Date

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**MEMO**

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**TO:** MAYOR NEWHARD & THE VILLAGE BOARD

**FROM:** MIKE MOSER, DPW SUPERVISOR

**SUBJECT:** SEASONAL LABORER

**DATE:** MAY 12, 2025

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Motion to hire **Jack Maxcy** as a Seasonal Laborer. This position will be for a 16-week period at 40 hours per week. Salary based on the FYE 24-25 and 25-26 Budget. Start date to be determined by the DPW Supervisor, Mike Moser.



VILLAGE OF WARWICK CHEMICAL BIDS & RECOMMENDATIONS								
PLEASE ACCEPT THIS SPREADSHEET AS MY FORMAL RECOMMENDATIONS FOR THE FISCAL YEAR: 2025 / 2026 Michael Herbert (DATED & SUBMITTED 4/1/25 & updated 5/9/2025)								
Recommended								
FACILITY	CHEMICAL	PVS Mini Bulk Inc.	WECHSLER	TMB THORNTON, MUSSO & BELLEMIN	SLACK	CLEAN WATERS	AMREX	COYNE
RWTP WWTP	PACI				6.49			
RWTP	SODIUM HYPOCHLORITE (LIQUID 12.5%) GALLON	3.69	3.24		6.99		2.65	
RWTP / WWTP	SODIUM HYDROXIDE (CAUSTIC BEADS) POUNDS				1.18			
MWTP	SODIUM HYDROXIDE (LIQUID CAUSTIC 25%) GALLON				1.03			1.1
WWTP	SODIUM BISULFITE 38% GALLON				3.79		2.97	
RWTP	SODIUM PERMANGANATE (LIQUID 20%) GALLON				13.49			15.01
MWTP	CITRIC ACID (LIQUID 50%) GALLON				12.44			12.5
RWTP / MWTP	BLENDED ORTHO PHOSPHATE GALLON				13.28			12.05
WWTP	CHARGE PACK 282 POLYMER (LIQUID)					24.54		
WWTP	POTASSIUM PERMANGANATE POUNDS				4.99			2.64
CONTACT FOR ORDERING ----->		N/A	GREG TAYLOR 845-794-9600	JAMES COVINGTON 225-485-2390	TRAVIS RUMBLE 315-778-1245	STEVE WARDELL 315-778-5218	SALES OFFICE 607- 772-8784	KEVIN BRASSARD 215-785-3000



## Partnership Request for Price Concurrence

Date Sent: May 6, 2025

Contracting Agency: Village of Warwick

Customer Contact: Raina M. Abramson, RMC

Job Title: Village Clerk

Street Address: 77 Main Street/P.O. Box 369

City, State Zip: Warwick, NY 10990

Phone: (845) 986-2031 x 102 Fax: 1 E-Mail: clerk@villageofwarwick.org

PLEASE UPDATE  
INFORMATION IF  
NEEDED

Member Agency: RSS

Corporate Panther: ProShred

Description: Document Destruction

Location: 24 Memorial Park Dr., Warwick, NY 10990 & 75 Main St., Warwick, NY 10990

Proposed Price: 33 boxes @ 6.05 = \$199.65 - FY24-25 Annual/Routine Destruction  
75 boxes @ 6.05 = \$453.75 - FY24-25 Grant Project -  
Actual = 68 paper boxes x \$6.05/box = \$411.40  
Total \$ 653.40 \$ 456.40 3 boxes of cassette tapes x \$15/box = \$45

If a Renewal, Current Contract # NA

Proposed Renewal Term: NA

### Contract Notes: Schedule for Friday, 5/30/2025

If you are in agreement with the proposed price, please sign this form as soon as possible and return by mail or fax. Upon receipt, NYSID will apply to the NYS Office of General Services for price approval if necessary. If you have any questions, please call NYSID Contract Administration at the number below. Please fax or mail to:

New York State Industries for the Disabled, Inc.  
ATTN: [Staff Assignment]  
11 Columbia Circle Drive  
Albany, NY 12203-5156

E-mail: [Staff Assignment Email]  
Phone: 518-463-9706  
Ext.: [Staff Assignment Phone]  
Fax: [Staff Assignment Fax]

NYSID Account Representative  
Bob Hammel  
845-249-8199

Authorized Signature: [Signature]  
Printed Name: Raina M. Abramson

Job Title: Village Clerk / RMO  
Date: 5/6/2025

X

## Raina Abramson

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**From:** Sadie Andryshak  
**Sent:** Wednesday, May 14, 2025 8:35 PM  
**To:** Michael Newhard; Tom McKnight; Cheney; Carly Foster; Mary Collura  
**Cc:** Raina Abramson  
**Subject:** Recreation Payroll

Hi All,

Ron spoke with me today about the potential to increase just the program directors/health directors hourly rate. This is about 10 employees. Last year we paid \$66,850 in payroll for summer programs and \$1,600 for the special events and have roughly \$4,800 budget remaining.

Based on last year's payroll hours if we increased the directors to \$20.00 per hour, the estimated total payroll would be \$69,900.

The 2025/2026 Budget for recreation salaries is \$93,728.

25/26 Budget	93,728.00
Rec Director Salary	20,228.00
Special Events	1,600.00
Summer	69,900.00
Under Budget	2,000.00

We also may see a slightly increase in fees since the sibling discount has been removed.

I feel that increasing the program directors and health directors hourly rates is feasible for the 2025/2026 budget.

Please let me know if you have any questions.

Thank you,

Sadie Andryshak  
Village Treasurer  
Village of Warwick  
PO Box 369 77 Main Street  
Warwick, NY 10990  
[Treasurer@villageofwarwick.org](mailto:Treasurer@villageofwarwick.org)  
Tel. 845-986-2031 x103  
Fax 845-986-6884  
[www.villageofwarwick.org](http://www.villageofwarwick.org)

## **Raina Abramson**

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**From:** Park Ave PTA <parkavepta@gmail.com>  
**Sent:** Wednesday, May 14, 2025 11:55 AM  
**To:** Joanna T.  
**Cc:** Raina Abramson; Deputy Clerk  
**Subject:** Re: Park Ave PTA Road Closure RAIN DATE NEEDED

Correction: 2025

**-Permission to close Park Avenue between Galloway Road and Burt Street on Thursday, May 22, 2025, from 4:00 p.m. to 7:00 p.m., for the benefit of the Park Avenue Elementary Warrior Course Event**

On Wed, May 14, 2025 at 11:54 AM Joanna T. <[joanna.tower83@gmail.com](mailto:joanna.tower83@gmail.com)> wrote:  
Hi Raina-

Park Ave PTA is requesting the following date for a road closure due to weather from our previous date and cancellation of certain other events. Please let me know if this is doable and thank you!



Joanna Tower  
914-329-5391 cell

=====  
**-Permission to close Park Avenue between Galloway Road and Burt Street on Thursday, May 22, 2024, from 4:00 p.m. to 7:00 p.m., for the benefit of the Park Avenue Elementary Warrior Course Event**

## **Park Avenue Elementary PTA Board**

**Christine McKnight, President**  
**Joanna Tower, Vice President**  
**Kristin Donnelly, Treasurer**  
**Annalie Vallejo, Corresponding Secretary**  
**Melody Piascik, Recording Secretary**  
**Andrea Batista, Social Media Coordinator**



77 Main Street  
Post Office Box 369  
Warwick, NY 10990  
www.villageofwarwick.org



(845) 986-2031  
FAX (845) 986-6884  
mayor@villageofwarwick.org  
clerk@villageofwarwick.org

## VILLAGE OF WARWICK

INCORPORATED 1867

### Facility Use Request Form For Gatherings of Less Than 200 People

ONLY USE THIS FORM IF YOUR EVENT WILL HAVE 200 PEOPLE OR LESS

Date Request Submitted: 5/7/25

Title of Event: Park Avenue Kindergarten Picnic

Purpose of Event: Picnic Day

#### SECTION 1: REQUESTED VILLAGE-OWNED PROPERTY

☐ Railroad Green      ☒ Stanley-Deming Park      ☐ Lewis Woodlands

☐ Veterans Memorial Park      ☐ Veterans Memorial Park Pavilion

*\*Please use the attached map to indicate the specific area(s) to be used within each park.*

Village of Warwick Parking Lots - check all that apply:

☐ South Street Lot    ☐ 1<sup>st</sup> Street Lot    ☐ Chase Lot (non-permit only)  
☐ Spring Street Lot    ☐ Wheeler & Spring St. Lot    ☐ Upper CVS Lot    ☐ Lower CVS Lot

Village of Warwick Streets: \_\_\_\_\_

#### SECTION 2: DATE AND TIME REQUESTED

Date(s) Requested: 6/12/25      Rain Date Requested: 6/17/25

Arrival Time: 10:30      Departure Time: 2:00

Event Start Time: 10:30      Event End Time: 2:00

#### SECTION 3: APPLICANT INFORMATION

Check one: ☒ Non-Profit Organization    ☐ Commercial/Business Organization    ☐ Family  
*\*For-profit activities are prohibited.*

Applicant's Name/Responsible Party: Warwick Valley CSD

*\*Person of responsibility representing the organization must be a Town of Warwick resident.*

Mailing Address of Responsible Party: 10 Park Ave, Warw3ick NY 10990

Email Address: scordisco@wvcsd.org Cell Phone: 845-325-8693

Proof of Town of Warwick Residency of Responsible Party: ☐ Driver's License ☐ Utility Bill

Name of Organization (if Applicable): Park Avenue Elementary School

Name of Organization's Director(s)/Officer(s): V. Biniaris

Organization's Phone: 845-987-3170 Email Address: vbiniaris@wvcsd.org

Mailing Address of Organization: P.O. Box 595 Warwick, NY 10990

Physical Address of Organization: 10 Park Ave, Warwick, NY 10990

#### **SECTION 4: EVENT INFORMATION**

Maximum Number of People Intended at the Event: 199

*\* If greater than 200 people, at any given time DO NOT complete this form. See instructions.*

# of Adults: \_\_\_\_\_ # of People Under 18: \_\_\_\_\_

Expected Number of Vehicles Intended at the Event: N/A

Please explain the parking plan for the event: Cars will park at the school and students and teachers will walk down to the park.

#### **WILL YOUR EVENT INCLUDE:**

#### **CHECK YES OR NO**

<b>Greater than 200 people at any given time</b> <i>If yes, DO NOT complete this form. Please complete form: FACILITY USE PERMIT APPLICATION FOR GATHERINGS GREATER THAN 200 PEOPLE</i>	Yes _____ No <u>X</u>
<b>Music / Loudspeakers / Sound System</b> <i>If yes, explain:</i> _____ <i>Location of Music/Loud Speakers/ Sounds System:</i> _____	Yes _____ No <u>X</u>
<b>Parade, walk, road race, etc.</b> <i>Request must include in writing a clear layout of the intended route AND a letter from the Warwick Police Department approving the route and police resources.</i>	Yes _____ No <u>X</u>
<b>Tent(s)</b> <i>Include a map detailing the placement of the tent(s).</i> <i>Date &amp; time tent will be set up:</i> _____ <i>Date &amp; time tent will be removed:</i> _____	Yes _____ No <u>X</u>

<b>RVs, Campers, Food Trucks, etc.</b> <i>If yes, explain:</i> _____	Yes _____ No <input checked="" type="checkbox"/>
<b>Admission Fee to Be Charged</b> <i>If yes, please list the admission fee:</i> _____	Yes _____ No <input checked="" type="checkbox"/>
<b>Alcohol</b> <i>Host Liquor Liability Insurance is required.</i>	Yes _____ No <input checked="" type="checkbox"/>
<b>Food will be served or sold</b> <i>If yes, explain the method of food distribution and disposal of trash:</i> _____ _____ <i>*A permit is required from the Orange County Department of Health when offering or selling any food to the public. It is the applicant's responsibility to contact the Orange County Department of Health to obtain necessary permits. Contact the Orange County Department of Health for further information.</i> <i>*Applicants must provide a drawing to scale showing where the food will be served/sold and where trash will be disposed.</i>	Yes _____ No <input checked="" type="checkbox"/>
<b>Rides: Mechanical Carnival Rides, Bounce House, Inflatable Slide, etc.</b> <i>If yes, explain:</i> _____ <i>Additional contract(s) and/or insurance is required.</i>	Yes _____ No <input checked="" type="checkbox"/>
<b>Portable Toilets</b> <i>Placement of portable toilets must be detailed on the map that is required with the application.</i>	Yes _____ No <input checked="" type="checkbox"/>
<b>Other</b> <i>Please explain:</i> _____	Yes _____ No <input checked="" type="checkbox"/>

**SPECIAL REQUESTS:**
**CHECK YES OR NO**

<b>Road Closure</b> <i>List road(s):</i> _____ <i>Closed between the hours of _____ and _____</i> <i>Number of 'No Parking' meter bags requested, if applicable:</i> _____	Yes _____ No <input checked="" type="checkbox"/>
<b>Use of Village-owned tables and chairs</b> <i>Veterans Memorial Park Pavilion Only. No. of Tables _____ No. of Chairs _____</i>	Yes _____ No <input checked="" type="checkbox"/>
<b>Use of Electricity</b>	Yes _____ No <input checked="" type="checkbox"/>
<b>Use of Memorial Park Football/Over 35 Field Lights</b> <i>Additional fee required for use of field lights.</i>	Yes _____ No <input checked="" type="checkbox"/>
<b>Use of Memorial Park Pavilion Lights</b>	Yes _____ No <input checked="" type="checkbox"/>

<b>Use of Village of Warwick Restrooms</b> <i>Memorial Park and Stanley Deming Park only.</i>	Yes <u>  X  </u> No <u>      </u>
<b>Other</b> Please explain: _____	Yes <u>      </u> No <u>  X  </u>

### **SECTION 5: FEES/SECURITY DEPOSIT**

*Fees and Security Deposit are Due Upon Application / Checks payable to: The Village of Warwick*

- ☐ \$200 Security Deposit - (*Must be a Separate Payment*)
- ☐ Memorial Park Football/Over 35 Field Lights (circle one) -   \$10 per day   or   \$300 per season

**TOTAL FEES:**   \$ \_\_\_\_\_ (excluding security deposit)

### **SECTION 6: INDEMNITY & HOLD HARMLESS**

The undersigned is over 21 years of age and has read this form and attached regulations and agrees to comply with them. He/she agrees to be responsible to the Village of Warwick for the use and care of the facilities. He/she, on behalf of       Park Ave Elementary       (Name of Organization) does hereby covenant and agree to defend, indemnify and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of Village's property, facilities and/or services by       Park Avenue Elementary       (Name Organization).

Sarah Cordisco

Printed Name of Applicant/Responsible Party

Sarah Cordisco

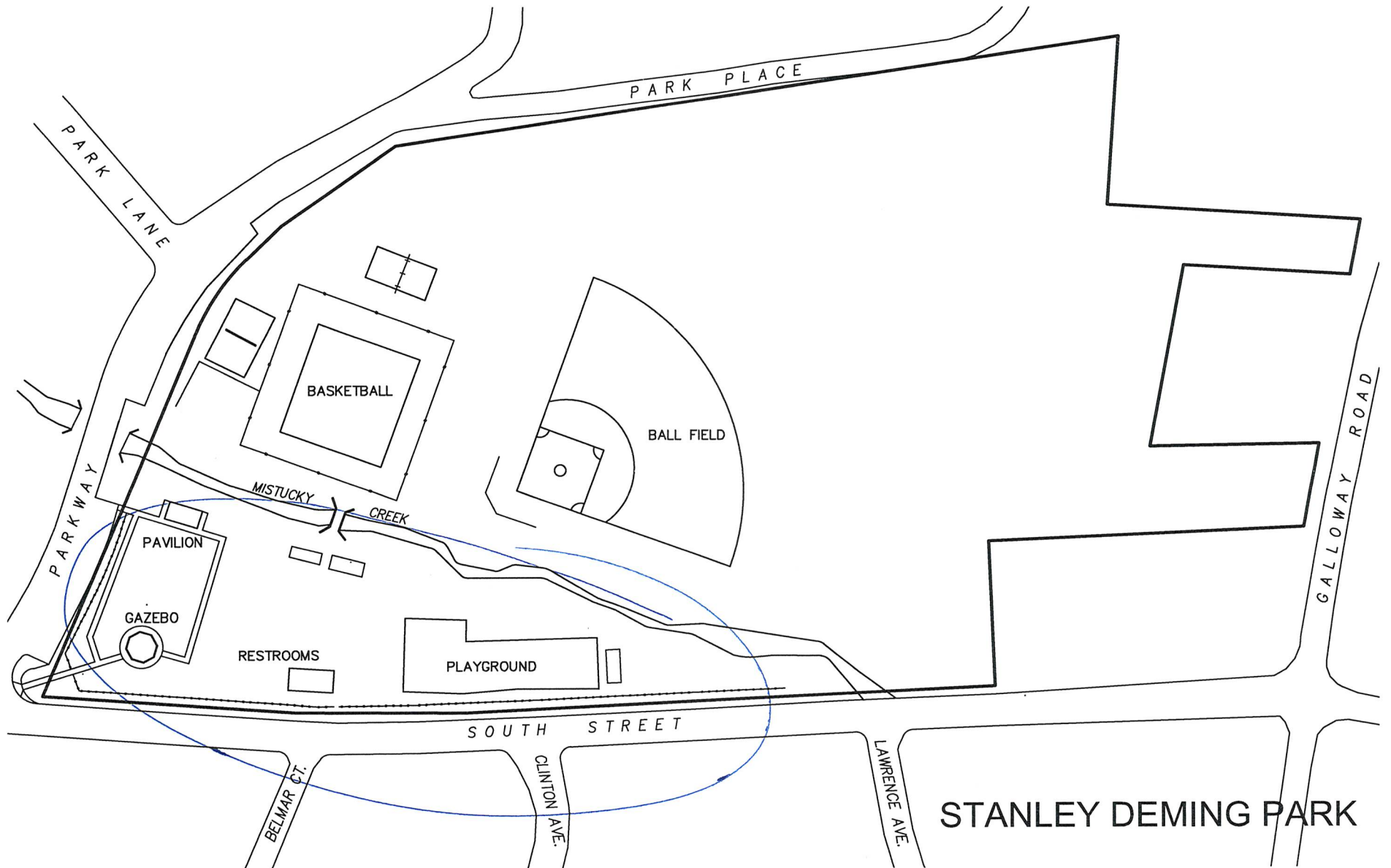
Signature of Applicant/Responsible Party

5/7/25

Date

**Clerk Use Only:** Security Deposit Check # na   Certificate of Insurance ✓   Host Liquor Liability na  
 Fees Received na   Park Map(s) ✓   Police Dept. Approval (if applicable) na





Permit Holder. Applicants are urged to bring extra plastic garbage bags to facilitate cleanup.

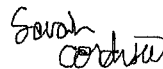
17. Any organization with youths under 18 years old requires the presence of adequate adult supervision at all times.
18. Supervision and parking are the responsibility of the applicant organization/individual.
19. Permits may be revoked at any time.
20. All posted rules must be adhered to.
21. No field or building alterations (lining of fields, erecting goal posts or structures, etc.) are allowed without prior approval.
22. The emergency telephone number for police is 911 or 986-5000; fire and ambulance 911.
23. Prior to the start of the event, an announcement should be made to your group regarding emergency evacuation procedures, for example pointing out posted procedures, direction for exiting, procedures for emergency helicopter landing, etc. Need pamphlet to hand out to applicants.
24. In the event of an accident, please notify the Village Clerk at (845) 986-2031 before the end of the next business day.
25. The Village of Warwick does not and shall not discriminate on the basis of race, color, religion (creed), gender, gender expression, age, national origin (ancestry), disability, marital status, sexual orientation, or military status, in any of its activities or operations.

### **INDEMNITY & HOLD HARMLESS**

**FACILITY USER** does hereby covenant and agree to defend, indemnify, and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of the Village of Warwick property, facilities and/or services.

I have read and understand the Facilities Use Requirements:

Sarah Cordisco



\_\_\_\_\_  
Printed Name of Applicant/Responsible Party

\_\_\_\_\_  
Signature of Applicant/Responsible Party

Date 5/7/25



50 South Street  
Warwick NY 10990  
T 845-986-3440 · F 845-986-8158

[www.ChristChurch.org](http://www.ChristChurch.org)

Member of the Episcopal Diocese of NY

May 7, 2025

Village of Warwick  
77 Main Street  
P. O. Box 369  
Warwick, NY 10990

Attention: Board of Trustees

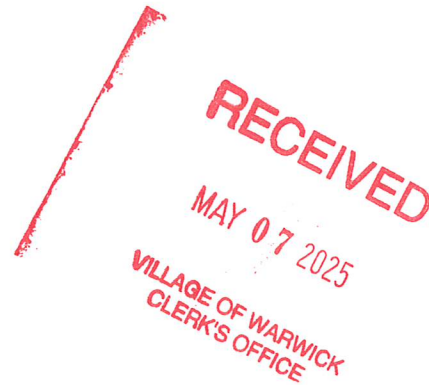
I am writing to request a permit for the use of the baseball field at Stanley Deming Park on Wednesday, June 11. Christ Church families will have an opportunity to play kickball as part of a night of fun and fellowship. We are expecting a combined group of not more than 45 children and adults. Our event will run from 5:00 p.m. to 8:00 p.m.

I've confirmed with Barry Cheney that the field is available.

Thank you for your consideration.

Sincerely,

Barbara Mann  
Parish Administrator  
845.986.3440  
[office@christchurch.org](mailto:office@christchurch.org)



77 Main Street  
Post Office Box 369  
Warwick, NY 10990  
www.villageofwarwick.org



(845) 986-2031  
FAX (845) 986-6884  
mayor@villageofwarwick.org  
clerk@villageofwarwick.org

## VILLAGE OF WARWICK

INCORPORATED 1867

### **Facility Use Request Form** **For Gatherings of Less Than 200 People**

ONLY USE THIS FORM IF YOUR EVENT WILL HAVE 200 PEOPLE OR LESS

Date Request Submitted: 5/7/2025

Title of Event: Christ Church Kickball

Purpose of Event: Fellowship

#### **SECTION 1: REQUESTED VILLAGE-OWNED PROPERTY**

☐ Railroad Green      ☒ Stanley-Deming Park      ☐ Lewis Woodlands

☐ Veterans Memorial Park      ☐ Veterans Memorial Park Pavilion

*\*Please use the attached map to indicate the specific area(s) to be used within each park.*

Village of Warwick Parking Lots - check all that apply:

☐ South Street Lot    ☐ 1<sup>st</sup> Street Lot    ☐ Chase Lot (non-permit only)  
☐ Spring Street Lot    ☐ Wheeler & Spring St. Lot    ☐ Upper CVS Lot    ☐ Lower CVS Lot

Village of Warwick Streets: \_\_\_\_\_

#### **SECTION 2: DATE AND TIME REQUESTED**

Date(s) Requested: June 11, 2025    Rain Date Requested: NA

Arrival Time: 5pm    Departure Time: 8pm

Event Start Time: 5pm    Event End Time: 8pm

#### **SECTION 3: APPLICANT INFORMATION**

Check one: ☒ Non-Profit Organization    ☐ Commercial/Business Organization    ☐ Family

*\*For-profit activities are prohibited.*

Applicant's Name/Responsible Party: Amber Carswell, Rector

*\*Person of responsibility representing the organization must be a Town of Warwick resident.*

Mailing Address of Responsible Party: 5 Second Street, Warwick, ny

Email Address: Office@christchurch.org Cell Phone: 501-503-8982

Proof of Town of Warwick Residency of Responsible Party: ☐ Driver's License ☐ Utility Bill

Name of Organization (if Applicable): CHRIST Church

Name of Organization's Director(s)/Officer(s): The Rev. Amber Carswell

Organization's Phone: 845-986-3440 Email Address: Office@christchurch.org

Mailing Address of Organization: 50 South Street, Warwick, ny 10990

Physical Address of Organization: same

#### **SECTION 4: EVENT INFORMATION**

Maximum Number of People Intended at the Event: 45 combined

*\* If greater than 200 people, at any given time DO NOT complete this form. See instructions.*

# of Adults: — # of People Under 18: —

Expected Number of Vehicles Intended at the Event: —

Please explain the parking plan for the event: —

#### **WILL YOUR EVENT INCLUDE:**

#### **CHECK YES OR NO**

<b>Greater than 200 people at any given time</b> <i>If yes, DO NOT complete this form. Please complete form: FACILITY USE PERMIT APPLICATION FOR GATHERINGS GREATER THAN 200 PEOPLE</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>Music / Loudspeakers / Sound System</b> <i>If yes, explain: _____</i> <i>Location of Music/Loud Speakers/ Sounds System: _____</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>Parade, walk, road race, etc.</b> <i>Request must include in writing a clear layout of the intended route AND a letter from the Warwick Police Department approving the route and police resources.</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>Tent(s)</b> <i>Include a map detailing the placement of the tent(s).</i> <i>Date &amp; time tent will be set up: _____</i> <i>Date &amp; time tent will be removed: _____</i>	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

<b>RVs, Campers, Food Trucks, etc.</b> If yes, explain: _____	Yes _____ No <u>X</u>
<b>Admission Fee to Be Charged</b> If yes, please list the admission fee: _____	Yes _____ No <u>X</u>
<b>Alcohol</b> <i>Host Liquor Liability Insurance is required.</i>	Yes _____ No <u>X</u>
<b>Food will be served or sold</b> If yes, explain the method of food distribution and disposal of trash: _____  <i>*A permit is required from the Orange County Department of Health when offering or selling any food to the public. It is the applicant's responsibility to contact the Orange County Department of Health to obtain necessary permits. Contact the Orange County Department of Health for further information.          *Applicants must provide a drawing to scale showing where the food will be served/sold and where trash will be disposed.</i>	Yes _____ No <u>X</u>
<b>Rides: Mechanical Carnival Rides, Bounce House, Inflatable Slide, etc.</b> If yes, explain: _____ <i>Additional contract(s) and/or insurance is required.</i>	Yes _____ No <u>X</u>
<b>Animals:</b> (Example, horses, pony rides, petting zoo, etc.) If yes, explain: _____	Yes _____ No <u>X</u>
<b>Portable Toilets</b> <i>Placement of portable toilets must be detailed on the map that is required with the application.</i>	Yes _____ No <u>X</u>
<b>Other</b> Please explain: _____	Yes _____ No <u>X</u>

**SPECIAL REQUESTS:**
**CHECK YES OR NO**

<b>Road Closure</b> List road(s): _____ Closed between the hours of _____ and _____ Number of 'No Parking' meter bags requested, if applicable: _____	Yes _____ No <u>X</u>
<b>Use of Village-owned tables and chairs</b> <i>Veterans Memorial Park Pavilion Only. No. of Tables _____ No. of Chairs _____</i>	Yes _____ No <u>X</u>
<b>Use of Electricity</b>	Yes _____ No <u>X</u>
<b>Memorial Park Field Lights - The Daniel Prial Field/Football Field</b> <i>Additional fee required for use of field lights.</i>	Yes _____ No <u>X</u>

<b>Use of Memorial Park Pavilion Lights</b>	Yes _____ No <u>X</u>
<b>Use of Village of Warwick Restrooms</b> <i>Memorial Park and Stanley Deming Park only.</i>	Yes <u>X</u> No _____
<b>Other</b> <i>Please explain: _____</i>	Yes _____ No <u>X</u>

### SECTION 5: FEES/SECURITY DEPOSIT

*Fees and Security Deposit are Due Upon Application / Checks payable to: The Village of Warwick*

☒ \$200 Security Deposit - *(Must be a Separate Payment)*

☐ Memorial Park Field Lights -

The Daniel Prial Field / Football Field (circle one) - \$10 per day or \$300 per season

☐ \$200 Security Deposit - *(Must be a Separate Payment)*

**TOTAL FEES:** \$ \_\_\_\_\_ (excluding security deposit)

### SECTION 6: INDEMNITY & HOLD HARMLESS

The undersigned is over 21 years of age and has read this form and attached regulations and agrees to comply with them. He/she agrees to be responsible to the Village of Warwick for the use and care of the facilities. He/she, on behalf of CHRIST Church (Name of Organization) does hereby covenant and agree to defend, indemnify and hold harmless the Village of Warwick from and against any and all liability, loss, damages, claims, or actions (including costs and attorneys' fees) for bodily injury and/or property damage, to the extent permissible by law, arising out of or in connection with the actual or proposed use of Village's property, facilities and/or services by CHRIST Church (Name Organization).

Amber Carswell

Printed Name of Applicant/Responsible Party

Amber Carswell

Signature of Applicant/Responsible Party

4-30-29

Date

#### **Office Use Only:**

Security Deposit Check # 9630

Fees Received na

DPW Pre-Approval na

Certificate of Insurance ✓

Park Map(s) ✓

Facility Use Calendar ✓

Host Liquor Liability na

Police Dept. Approval na

Parade Calendar na

Permit Holder. Applicants are urged to bring extra plastic garbage bags to facilitate cleanup.

17. Any organization with youths under 18 years old requires the presence of adequate adult supervision at all times.
18. Supervision and parking are the responsibility of the applicant organization/individual.
19. Permits may be revoked at any time.
20. All posted rules must be adhered to.
21. No field or building alterations (lining of fields, erecting goal posts or structures, etc.) are allowed without prior approval.
22. The emergency telephone number for police is 911 or 986-5000; fire and ambulance 911.
23. Prior to the start of the event, an announcement should be made to your group regarding emergency evacuation procedures, for example pointing out posted procedures, direction for exiting, procedures for emergency helicopter landing, etc. Need pamphlet to hand out to applicants.
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25. The Village of Warwick does not and shall not discriminate on the basis of race, color, religion (creed), gender, gender expression, age, national origin (ancestry), disability, marital status, sexual orientation, or military status, in any of its activities or operations.

### **INDEMNITY & HOLD HARMLESS**

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I have read and understand the Facilities Use Requirements:



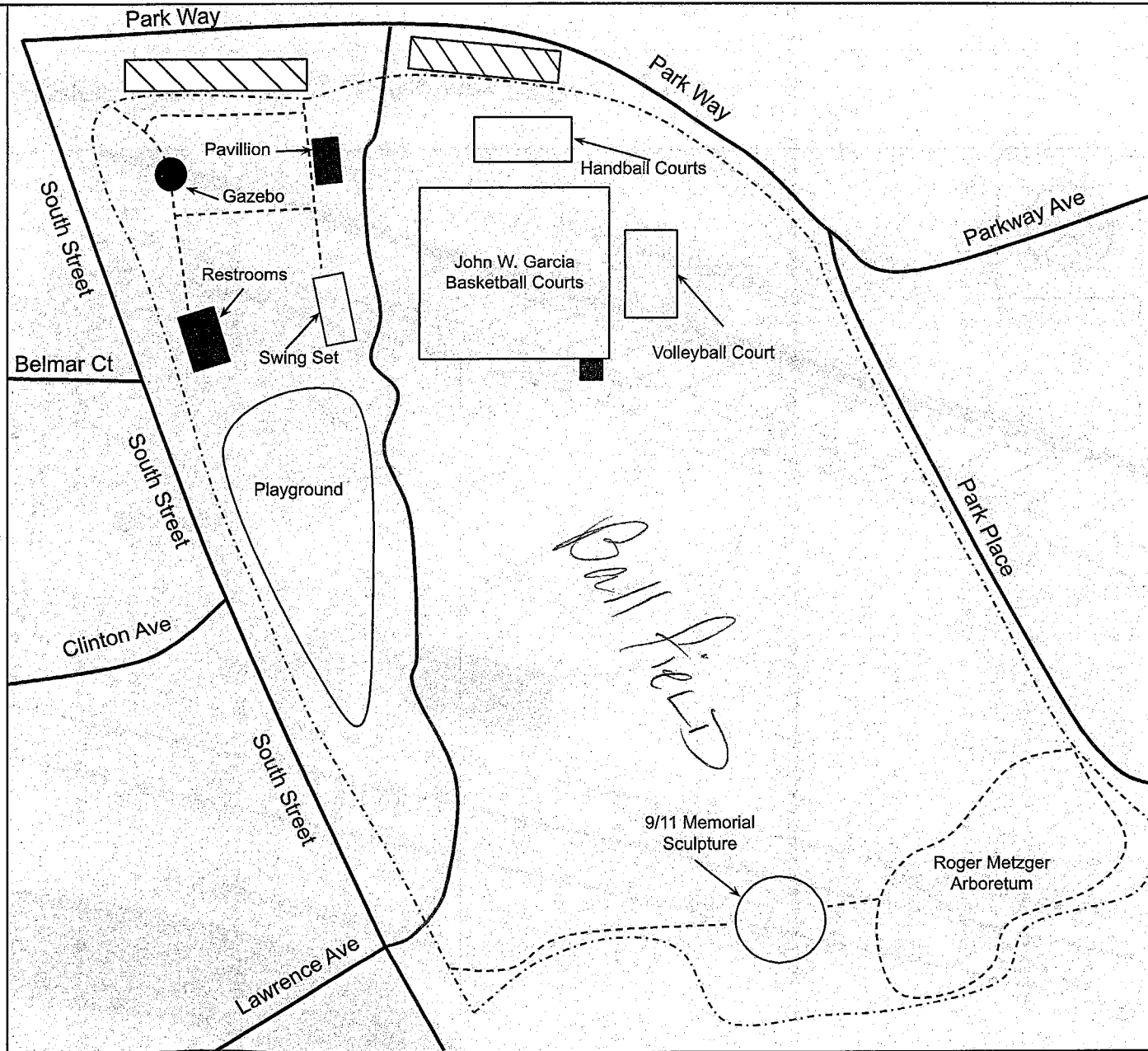
Printed Name of Applicant/Responsible Party



Signature of Applicant/Responsible Party

Date 4-30-25





### MAP KEY

- Road: ———
- Footpath: - - -
- Park Boundary: . . .
- Creek: ~~~~~
- Parking: [Hatched Box]
- Structure: [Solid Black Box]

100 ft

Stanley Deming Park

Village of Warwick 2024

77 Main Street  
Post Office Box 369  
Warwick, NY 10990  
www.villageofwarwick.org



(845) 986-2031  
FAX (845) 986-6884  
mayor@villageofwarwick.org  
clerk@villageofwarwick.org

**VILLAGE OF WARWICK**  
INCORPORATED 1887

**Budget Modification Request**

**For Board of Trustees Approval - Meeting on 5/19/25**

For approval to transfer available appropriations for the following Fiscal Year 2024-2025 budget account lines:

**GENERAL FUND**

FROM Account Code	Account Description	Budget Approp. Balance	Transfer Request	Reason	TO Account Code	Account Description	Budget Approp. Balance	Transfer Amount
A1010.4950	Trustees - Other	1,971.97	39.99	Actual vs Budget	A1210.4550	Mayor - Office Supplies	(39.99)	39.99
			40.00	Actual vs Budget	A1210.4950	Mayor - Other	(40.00)	40.00
A1410.4550	Village Clerk - Office Supplies	3,126.59	131.75	Actual vs Budget	A1110.4550	Justice - Office Supplies	(131.75)	131.75
			219.33	Actual vs Budget	A1680.4900	Network/IT - Professional Services	(219.33)	219.33
A1325.1000	Treasurer - Personal Service	6,351.44	0.40	Actual vs Budget	A1355.1000	PT Assessor - Personal Services	(0.40)	0.40
A3320.4500	Parking Division - Meter Maintenance	1,724.43	200.00	Actual vs Budget	A3320.2300	Parking Division - Equipment	(200.00)	200.00
A5110.1000	Streets - Personal Service	74,179.27	8,927.87	Actual vs Budget	A5010.1000	Street Admin - Personal Service	(8,927.87)	8,927.87
			2,875.30	Actual vs Budget	A5142.1000	Snow Removal - Personal Service	(2,875.30)	2,875.30
A5010.2000	Street Admin - Equipment	1,369.94	282.95	Actual vs Budget	A5010.4550	Street Admin - Office Supplies	(282.95)	282.95
A1640.2350	Central Garage - Machinery/Equip	19,470.30	2,205.00	Actual vs Budget	A5010.4570	Street Admin - Maintenance Contracts	(2,205.00)	2,205.00
A1620.4400	Village Hall - Repairs/Building	4,175.04	2,995.54	Actual vs Budget	A5010.4950	Street Admin - Bus Operations	(2,995.54)	2,995.54
A1640.2350	Central Garage - Machinery/Equip	19,470.30	865.04	Actual vs Budget	A5110.4920	Streets - Street Patch	(865.04)	865.04
A7140.4350	Parks - Utilities	1,551.04	1,089.68	Actual vs Budget	A5182.4350	Street Lighting Utilities	(1,089.68)	1,089.68
A3620.1000	Code Enf/Bldg Insp - Personal Services	6,903.81	863.35	Actual vs Budget	A8020.1000	Planning - Personal Services	(863.35)	863.35
A8160.4005	Refuse - Sanitation Fees	13,803.44	6,542.11	Actual vs Budget	A8140.4400	Storm Sewer/Drainage - Drainage Projects	(6,542.11)	6,542.11
<b>TOTAL</b>			<b>27,278.31</b>		<b>TOTAL</b>			<b>27,278.31</b>

**WATER FUND**

FROM Account Code	Account Description	Budget Approp. Balance	Transfer Request	Reason	TO Account Code	Account Description	Budget Approp. Balance	Transfer Amount
F8340.4600	Trans/Dist - Reservoir	325,318.28	5,653.50	Actual vs Budget	F1440.4700	Water - Engineer Contracted	(5,653.50)	5,653.50
F8340.1000	Trans/Dist - Personal Services	71,452.75	743.80	Actual vs Budget	F8310.1000	Water Admin - Personal Service	(743.80)	743.80

F8330.4400	Purification - Repairs	37,227.51	268.77	Actual vs Budget	F8310.4550	Water Admin - Office Suppl/Maint	(268.77)	268.77
TOTAL			6,666.07		TOTAL			6,666.07

#### SEWER FUND

FROM Account Code	Account Description	Budget Approp. Balance	Transfer Request	Reason	TO Account Code	Account Description	Budget Approp. Balance	Transfer Amount
G8110.4550	Sewer Admin - Office Supplies	299.52	13.35	Actual vs Budget	G1680.4900	Sewer IT/Network - Professional Srv	0.00	13.35
G8120.1000	Sewers - Personal Services	11,490.74	995.57	Actual vs Budget	G8110.1000	Sewer Admin - Personal Service	(995.57)	995.57
TOTAL			1,008.92		TOTAL			1,008.92

Respectfully submitted,

*Sadie Andryshak*

Sadie Andryshak  
Village Treasurer

Backup Documentation: Negative Balance Listing Report

Report Date: 5/14/25

VILLAGE OF WARWICK  
2025 Expenditure Accounts with a Negative Balance Listing

Range of Accounts: First to Last  
Report Type: Sub Account Include Non-Budget Accounts: N

Account No	Description	Budgeted	Encumbered	Expended	Transfers	Reimbursed	Canceled	Balance	%Used
A-1110-4550	Justice - Office Supplies	4,500.00	0.00	4,349.35	282.40-	0.00	0.00	131.75-	103.12 ✓
A-1210-4550	Mayor - Office Supplies	500.00	0.00	203.81	336.18-	0.00	0.00	39.99-	124.41 ✓
A-1210-4950	Mayor - Other	5,510.00	0.00	6,512.15	962.15	0.00	0.00	40.00-	100.62 ✓
A-1355-1000	PT Assessor - Personal Services	13,703.00	0.00	13,703.40	0.00	0.00	0.00	0.40-	100.00 ✓
A-1680-4900	Network/IT - Professional Services	26,370.00	0.00	30,016.92	3,427.59	0.00	0.00	219.33-	100.74 ✓
A-3320-2300	Parking Division - Equipment	5,000.00	0.00	6,635.50	1,435.50	0.00	0.00	200.00-	103.11 ✓
A-5010-1000	Street Admin - Personal Service	106,054.00	0.00	114,981.87	0.00	0.00	0.00	8,927.87-	108.42 ✓
A-5010-4550	Street Admin - Office Supplies	2,000.00	0.00	2,963.52	680.57	0.00	0.00	282.95-	110.56 ✓
A-5010-4570	Street Admin - Maintenance Contracts	12,200.00	0.00	16,806.30	2,401.30	0.00	0.00	2,205.00-	115.10 ✓
A-5010-4950	Street Admin - Bus Operations	16,000.00	0.00	18,995.54	0.00	0.00	0.00	2,995.54-	118.72 ✓
A-5110-4920	Streets - Street Patch	20,000.00	0.00	10,559.14	10,305.90-	0.00	0.00	865.04-	108.92 ✓
A-5142-1000	Snow Removal - Personal Service	51,362.00	0.00	57,650.63	3,413.33	0.00	0.00	2,875.30-	105.25 ✓
A-5182-2000	Street Lighting-Equipment/Capital	60,000.00	0.00	385,252.43	0.00	0.00	0.00	325,252.43-	642.09
A-5182-4350	Street Lighting Utilities	50,000.00	0.00	74,646.78	20,000.00	3,557.10	0.00	1,089.68-	101.56 ✓
A-7310-4570	Youth Rec Program - Maintenance Contract	2,700.00	0.00	4,126.84	0.00	0.00	0.00	1,426.84-	152.85
A-8020-1000	Planning - Personal Services	47,833.00	0.00	48,696.35	0.00	0.00	0.00	863.35-	101.80 ✓
A-8140-4400	Storm Sewer/Drainage - Drainage Projects	10,000.00	0.00	21,597.99	5,055.88	0.00	0.00	6,542.11-	143.45 ✓

May 14, 2025  
12:57 PM

VILLAGE OF WARWICK  
2025 Expenditure Accounts with a Negative Balance Listing

Page No: 2

Account No	Description	Budgeted	Encumbered	Expended	Transfers	Reimbursed	Canceled	Balance	%Used
<b>Fund Total</b>									
		433,732.00	0.00	817,698.52	26,451.84	3,557.10	0.00	353,957.58-	176.92
F-1440-4700	Water - Engineer Contracted Services	30,000.00	0.00	56,704.75	21,051.25	0.00	0.00	5,653.50-	111.07 ✓
F-8310-1000	Water Admin - Personal Service	59,405.00	0.00	60,148.80	0.00	0.00	0.00	743.80-	101.25 ✓
F-8310-4550	Water Admin - Office Suppl/Maint	2,500.00	0.00	2,768.77	0.00	0.00	0.00	268.77-	110.75 ✓
F-8330-4675	Purification - Sludge Disposal	200,000.00	0.00	251,284.14	3,081.10	0.00	0.00	48,203.04-	123.74
<b>Fund Total</b>									
		291,905.00	0.00	370,906.46	24,132.35	0.00	0.00	54,869.11-	117.36
G-8110-1000	Sewer Admin - Personal Service	59,146.00	0.00	60,141.57	0.00	0.00	0.00	995.57-	101.68 ✓
<b>Fund Total</b>									
		59,146.00	0.00	60,141.57	0.00	0.00	0.00	995.57-	101.68
<b>Year Total</b>									
		784,783.00	0.00	1,248,746.55	50,584.19	3,557.10	0.00	409,822.26-	149.06



VILLAGE OF WARWICK  
INCORPORATED 1867

**Date:** April 16, 2005

**Re: Recommendation to Establish Flood Plain Permit Fee and Escrow Requirement**

**Dear Mayor Newhard and Trustees of the Village of Warwick,**

I am writing to respectfully recommend the addition of a Flood Plain Permit Fee and a corresponding Flood Plain Escrow to the Village's fee schedule. These fees would apply to applications involving properties located within designated flood zones.

Due to the specialized nature of floodplain review, all such applications require oversight by both the Village Engineer and the Building Inspector. The proposed fees are intended to offset the costs incurred by the Village for this professional review and ensure that applicants—not taxpayers—are funding the necessary due diligence.

The proposed fee structure is as follows:

- **Flood Plain Permit Application Fee:** \$500.00
- **Flood Plain Escrow Deposit:** \$1,000.00

The \$500 application fee would support the administrative handling of the application, including the review by the Building Inspector and associated site visits. The \$1,000 escrow would be applied toward the engineering review conducted by the Village Engineer. In many cases, the Building Inspector will accompany the Village Engineer on site visits to the property to ensure compliance with floodplain regulations and local code requirements. Any unused escrow funds will be refunded to the applicant by the Building Inspector upon completion of the review process.

These fees are consistent with those currently in place in the Town of Warwick and will bring the Village in line with surrounding municipalities, ensuring a fair and uniform approach to floodplain management in our community.

I respectfully request that the Board consider adopting this fee schedule at an upcoming meeting.

Thank you for your attention to this matter. Please let me know if I can provide additional information or clarification.

Sincerely,

***Kristin Bialosky***

Building, Planning, Zoning & AHDRB  
Village of Warwick



VILLAGE OF WARWICK  
INCORPORATED 1867

**ADMINISTRATIVE USE ONLY**

- **Application Fee:** \$500.00      CHK #: \_\_\_\_\_      Date: \_\_\_\_\_
- **Escrow Deposit:** \$1,000.00      CHK #: \_\_\_\_\_      Date: \_\_\_\_\_

**FLOODPLAIN DEVELOPMENT PERMIT APPLICATION**

*A floodplain development permit is required for any development activity in the regulated floodplain.* This includes any man-made change to improved or unimproved real estate, including but not limited to the construction, reconstruction, renovation, repair, expansion or alteration of buildings, accessory structures or other structures; the placement of manufactured homes; mining dredgings; streets and other paving; docks; utilities; filling, grading, and excavation; drilling operations; storage of equipment or materials and formation of manufactured home, recreation vehicle, or trailer parks.

**Applicant/Property Owner Instructions:**

1. Check the Flood Insurance Rate Map (flood hazard map) to determine if the proposed project is in the Special Flood Hazard Area / 100-year (1%) floodplain. This is the regulated floodplain within which a floodplain development permit is required. NFIP maps can be found at FEMA's flood Map Service Center; <https://msc.fema.gov/portal>
2. Is the project located in a special flood hazard area?  
☐ **NO** – A Flood development permit is not required. Note: Projects located near the mapped floodplain boundary, in the 500-year floodplain, near streams and in drainage areas do not require a floodplain development permit, but may warrant flood protection measures.  
  
☐ **YES** – A flood Development Permit is required – Continue to Section 1 below

**SECTION 1: GENERAL INSTRUCTIONS (APPLICANT TO READ AND SIGN):**

1. No work may start until a permit is issued
2. The permit may be revoked if any false statements are made herein.
3. If revoked, all work must cease until the permit is re-issued.
4. Development shall not be used or occupied until a Certificate of Compliance is issued.
5. The permit will expire if no work is commenced within six months of issuance.
6. Applicant is hereby informed that other permits may be required to fulfill local, state and federal regulatory requirements. Refer to the Village Code and related NYSDEC regulations, if applicable.
7. Applicant hereby gives consent to the Floodplain Administrator and/or designated representative to make reasonable inspections required to verify compliance.
8. Applicant is the property owner.
9. I, THE APPLICANT CERTIFY THAT ALL STATEMENTS HEREIN AND IN ATTACHMENTS TO THIS APPLICATION ARE, TO THE BEST OF MY KNOWLEDGE, TRUE AND ACCURATE.

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**SECTION 2: PROPOSED DEVELOPMENT (To be completed by APPLICANT)**

PROJECT ADDRESS		
OWNER NAME	PHONE	EMAIL
OWNER ADDRESS		
CONTRACTOR NAME	PHONE	EMAIL
ENGINEER NAME	PHONE	EMAIL



**DESCRIPTION OF WORK (Check all applicable boxes):** "See definitions of 'development' and 'substantial improvement' in §69-2 for more detail on regulated activities."

**STRUCTURAL DEVELOPMENT**

**ACTIVITY**

- ☐ New Structure
- ☐ Addition
- ☐ Alteration
- ☐ Relocation
- ☐ Demolition
- ☐ Replacement

**STRUCTURE TYPE**

- ☐ Residential (1-4 Family)
- ☐ Residential (More than 4 Family)
- ☐ Non-residential (Floodproofing? ☐ Yes)
- ☐ Combined Use (Residential & Commercial)
- ☐ Manufactured (Mobile) Home  
(In Manufactured Home Park? ☐ Yes)
- ☐ Detached Garage §69-4

**ESTIMATED COST OF PROJECT \$** \_\_\_\_\_

**OTHER DEVELOPMENT ACTIVITIES**

- ☐ Fill    ☐ Mining    ☐ Drilling    ☐ Grading
- ☐ Excavation (Except for Structural Development Checked Above)
- ☐ Watercourse Alteration (Including Dredging and Channel Modifications)
- ☐ Drainage Improvements (Including Culvert Work)
- ☐ Road, Street or Bridge Construction
- ☐ Subdivision (New or Expansion)
- ☐ Individual Water or Sewer System
- ☐ Other (Please Specify) \_\_\_\_\_

**After completing SECTION 2, APPLICANT should submit form to Floodplain Administrator for review.**

**SECTION 3: FLOODPLAIN DETERMINATION (to be completed by Floodplain Administrator)**

The proposed development is located on FIRM Panel No. \_\_\_\_\_

**Dated:** \_\_\_\_\_

"Determinations should be made per the mapping and data criteria in §69-5 and §69-9, including base flood elevation data and floodway boundaries." FEMA requires the panel date to confirm compliance.

The Proposed Development:

☐ Is NOT located in a Special Flood Hazard Area (Notify the applicant that the application review is complete and NO FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED).

☐ Is located in a Special Flood Hazard Area (SFHA).  
FIRM zone designation is \_\_\_\_\_.  
100-Year flood elevation at the site is: \_\_\_\_\_ ft. DATUM \_\_\_\_\_

☐ The proposed development is located in a floodway.  
FIRM Panel No. \_\_\_\_\_ Dated \_\_\_\_\_

☐ See Section 4 for additional instructions.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_

**SECTION 4: ADDITIONAL INFORMATION REQUIRED: (To be completed by  
Floodplain Administrator)**

**The applicant must submit the documents checked below before the application can be processed: ALL PLANS MUST BE STAMPED BY A LICENSED PROFESSIONAL (ARCHITECT/ENGINEER), if applicable.**

- ☐ A site plan showing the location of all existing structures, water bodies, adjacent roads, lot dimensions and proposed development.
- ☐ Elevation Certificate: FEMA Form FF-206-FY-22-152.
- ☐ Development plans, drawn to scale, and specifications, include where applicable: details for anchoring structures, proposed elevation of lowest floor (including basement), types of water-resistant materials used below the first floor, details of floodproofing of utilities located below the first floor and details of enclosures below the first floor.  
Additional Info: \_\_\_\_\_
- ☐ Subdivision or other development plans (If the subdivision or other development exceeds 50 lots or 5 acres, whichever is the lesser, the applicant MUST provide 100-year flood elevations if they are not otherwise available).
- ☐ Plans showing the extent of watercourse relocation and/or landform alterations
- ☐ Top of new fill elevation \_\_\_\_\_ Ft. NGVD (MSL)
- ☐ Floodproofing protection level (non-residential only) \_\_\_\_\_ Ft. NGVD (MSL) For floodproofed structures, applicant must attach certification from registered engineer or architect.
- ☐ Certification from a registered engineer that the proposed activity in a regulatory floodway will not result in ANY increase in the height of the 100-year flood. A copy of all data and calculations supporting this finding must also be submitted.
- ☐ Other: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- ☐ All documentation must conform to the design and construction standards found in §69-5, including elevation requirements and flood-resistant materials.

**SECTION 5: PERMIT DETERMINATION (To be completed by Floodplain Administrator)**

I have determined that the proposed activity: ☐ IS ☐ IS NOT in conformance with provisions of Local Law # 2025, codified as Chapter 69 of the Village Code, the Floodplain Administrator and/or the Village Engineer will provide a written summary of deficiencies. The permit is subject to compliance with attached conditions, and all applicable provisions of Chapter 69 and NYS Building Code.

SIGNED \_\_\_\_\_, DATE \_\_\_\_\_

If it is determined that the proposed activity is NOT in conformance with the provisions of Local Law # 2025 the Floodplain Administrator and/or the Village Engineer will provide a written summary of deficiencies.

**SECTION 6: AS-BUILT ELEVATIONS (To be submitted by APPLICANT before Certificate of Compliance is issued)**

The following information must be provided for project structures. This section must be completed by a registered professional engineer or a licensed land surveyor (or attach a certification to this application).

Complete 1 or 2 below.

1. Actual (As-Built) Elevation of the top of the lowest floor, including basement, (bottom of lowest structural member of the lowest floor, excluding piling and columns) is: \_\_\_\_\_ FT. NGVD (MSL).
2. Actual (As-Built) Elevation of floodproofing protection is \_\_\_\_\_ FT. NGVD (MSL).

**NOTE: ANY WORK PERFORMED PRIOR TO SUBMITTAL OF THE ABOVE INFORMATION IS AT THE RISK OF THE APPLICANT.**

**SECTION 7: COMPLIANCE ACTION (To be completed by Floodplain Administrator)**

The Floodplain Administrator, in consultation with the Village Engineer, will complete this section as applicable based on inspection of the project to ensure compliance with the Village's local law codified as Chapter 69: Flood Damage Prevention in the Village Code.

INSPECTIONS: Date _____	By _____	DEFICIENCIES? <input type="checkbox"/> YES <input type="checkbox"/> NO
INSPECTIONS: Date _____	By _____	DEFICIENCIES? <input type="checkbox"/> YES <input type="checkbox"/> NO
INSPECTIONS: Date _____	By _____	DEFICIENCIES? <input type="checkbox"/> YES <input type="checkbox"/> NO
INSPECTIONS: Date _____	By _____	DEFICIENCIES? <input type="checkbox"/> YES <input type="checkbox"/> NO
INSPECTIONS: Date _____	By _____	DEFICIENCIES? <input type="checkbox"/> YES <input type="checkbox"/> NO

**SECTION 8: CERTIFICATE OF COMPLIANCE (To be Completed by Floodplain Administrator).**

Certificate of Compliance issued: DATE: \_\_\_\_\_ BY: \_\_\_\_\_

**FOR OFFICIAL USE ONLY:**

Permit Approval Date: \_\_\_\_\_ BY: \_\_\_\_\_

Floodplain Administrator/Building Inspector: \_\_\_\_\_  
\_\_\_\_\_

Permit Conditions/Comments:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_