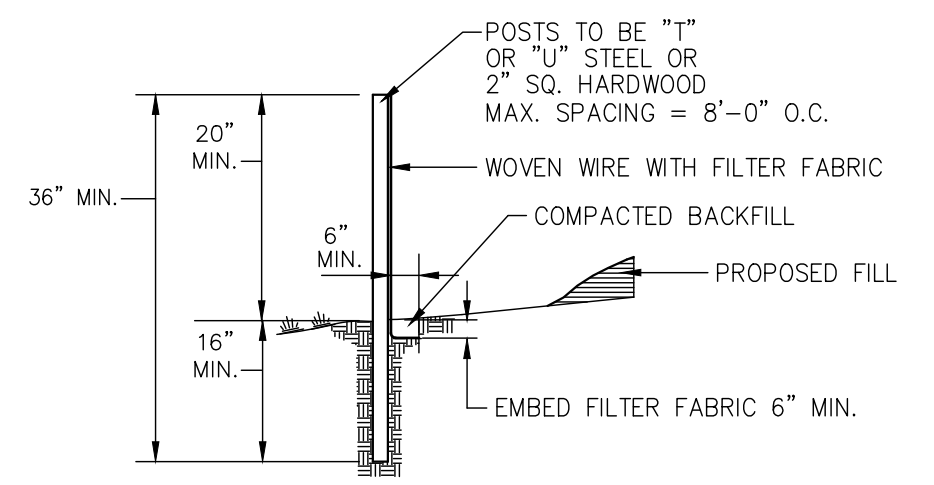


207-2-28.2
N/F
HERITAGE GREEN, INC

207-2-25
N/F
MERDAK & DORSEY

SOIL EROSION CONTROL NOTES

- SILT FENCE BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
- DISTURBANCE TO BE LIMITED TO THE MINIMUM NECESSARY FOR THE GRADING AND CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- TEMPORARY SEEDING WITH ANNUAL RYE GRASS OR OTHER RAPID GROWING MIXTURE SHALL BE PERFORMED ON DISTURBED SOIL REMAINING VACANT FOR MORE THAN ONE MONTH AS FOLLOWS:
 - LOOSEN SEEDS BY DISING TO 4" DEPTH.
 - FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 FERTILIZER (20 lbs. per 1000 s.f.)
 - SEED WITH PERENNIAL RYEGRASS (20 lbs. per 1000 s.f.)
 - MULCH WITH STRAW MULCH (90 lbs. per 1000 s.f.)
- ALL DISTURBED AREAS TO BE MULCHED TO PREVENT EROSION. THE CONTRACTOR SHALL COMPLY WITH ALL REQUESTS OF THE TOWN ENGINEER OR BUILDING INSPECTOR DURING CONSTRUCTION WITH REGARD TO EROSION CONTROL DEVICES.
- EROSION CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED.



SILT FENCE DETAIL
N.T.S.

NOTES:

- WHERE TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- SILT FENCE FABRIC TO BE MIRAFI 100X OR APPROVED EQUAL.
- WOVEN WIRE FENCE (MIN. 14.5 GAUGE, MAX 6" MESH SPACING)

LEGEND

- EXISTING PROPERTY LINE
- OVERHEAD UTILITY LINES
- EXISTING CONTOUR

APPROVED FOR FILLING:

OWNER(S)	DATE
APPROVED AS A FINAL SITE PLAN BY A RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WARWICK ON _____	
CHAIRMAN	DATE
VILLAGE ENGINEER	DATE

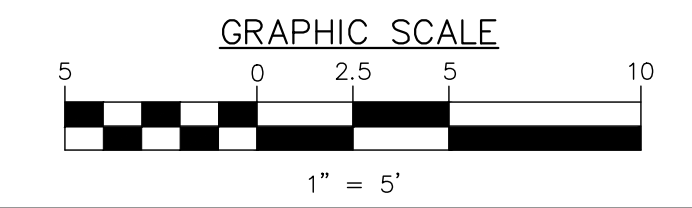
APPROVED FOR FILLING:

OWNER(S)	DATE
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CHAIRMAN	DATE
VILLAGE ENGINEER	DATE

COPIES OF THIS DOCUMENT WITHOUT AN ACTUAL OR FACSIMILE OF THE ENGINEER'S SIGNATURE AND AN ORIGINAL STAMP OR EMBOSSED SEAL SHALL BE CONSIDERED INVALID.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

BRIAN FRIEDLER, P.E.
NEW YORK LICENSE # 105494



GENERAL NOTES

- TAX MAP DESIGNATION: SECTION 207, BLOCK 2, LOT 26
28 WHEELER AVENUE, WARWICK, NY 10990
- RECORD OWNER / APPLICANT:
JAMES McATEER & CHRISTOPHER KIMECIK
802 UNION CORNERS ROAD
FLORIDA, NY 10921
- PROPERTY AREA: 4,863 ± SQ.FT.
- ZONING DISTRICT: LIMITED OFFICE OVERLAY (LO)
- EXISTING WATER SUPPLY: VILLAGE OF WARWICK WATER SYSTEM
- EXISTING SEWAGE DISPOSAL: VILLAGE OF WARWICK SEWER SYSTEM
- SURVEY INFORMATION PROVIDED BY PAUL ROGEMAN, P.L.S., DATED APRIL 7, 2025. TOPOGRAPHY INFORMATION TAKEN FROM ORANGE COUNTY IMAGE MATE.
- EXISTING USE: SINGLE-FAMILY, 2-BEDROOM DWELLING
- PROPOSED USE: TWO-FAMILY RESIDENCE

ZONING DATA :

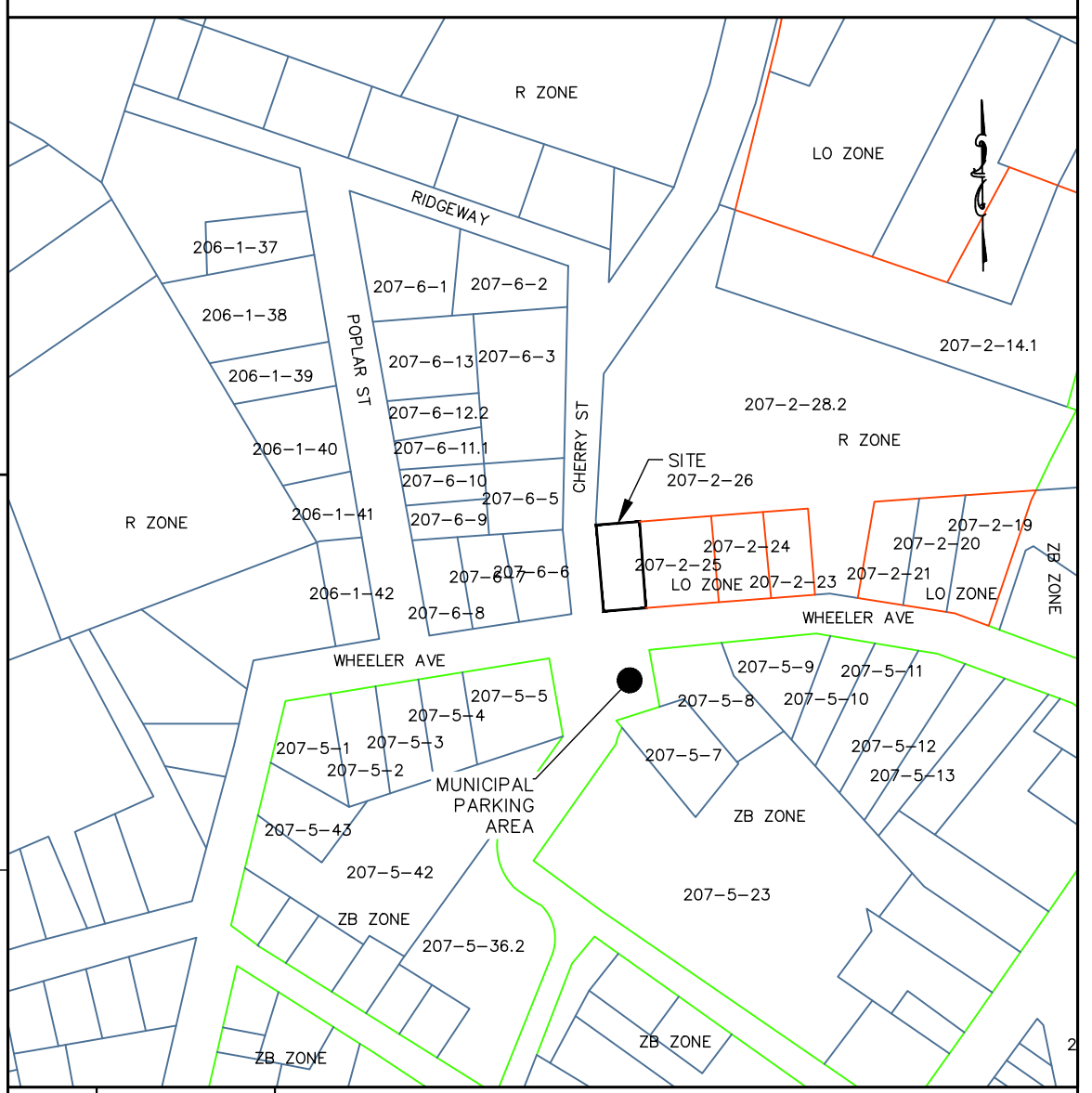
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	22,500 SQ.FT.	4,863 SQ.FT.(*)	4,863 SQ.FT.(*)
MIN. LOT WIDTH	125 FT.	50.0 FT.(*)	50.0 FT.(*)
FRONT SETBACK (***)	40 FT.	10.5 FT.(*)	10.5 FT.(*)
MIN. FRONT YARD (***)	40 FT.	6.5 FT.(*)	6.5 FT.(*)
MIN. REAR SETBACK	35 FT.	15.8 FT.(*)	15.8 FT.(*)
MIN. REAR YARD	10 FT.	15.8 FT.	15.8 FT.
MIN. SIDE SETBACK	25 FT.	43.0 FT.(*)	25.0 FT.
TOTAL SIDE SETBACK (***)	(***)	(***)	(***)
MIN. SIDE YARD	15 FT.	12.0 FT.(*)	12.0 FT.(*)
MIN. STREET FRONTAGE	90 FT.	147 FT.	147 FT.
MAX. BLDG. HEIGHT	35 FT./3 STRY.	≤ 35 FT./3 STRY.	≤ 35 FT./3 STRY.
DEVELOPMENT COVERAGE	35%	36% ±(**)	42% ±
MIN. LOT DEPTH	125 FT.	97.3 FT.(*)	97.3 FT.(*)
LIVABLE FLOOR AREA	1,250 SF	>1,250 SF	>1,250 SF

(*) NON-CONFORMING, PRE-EXISTING CONDITION
 (***) EXISTING: 1,750 SQ.FT. / 4,863 SQ.FT. = 0.359
 PROPOSED: 2,059 SQ.FT. / 4,863 SQ.FT. = 0.423
 (***) CORNER LOT: A FRONT YARD AND FRONT SETBACK SHALL BE REQUIRED ON A CORNER LOT FROM EACH STREET LINE. THERE SHALL BE DESIGNATED ON THE SITE PLAN WHICH OF THE REMAINING YARDS OR SETBACKS SHALL BE THE SIDE AND REAR YARD OR SETBACK, RESPECTIVELY.

SCHEDULE OF USE AND PARKING SPACE REQUIREMENTS:

TWO-FAMILY DWELLING UNIT:
 REQUIRED: 1.5 SPACES / BEDROOM; 2 SPACES / 2 OR MORE BEDROOMS
 EXISTING SPACES: 2
 REQUIRED SPACES: 4
 PROPOSED SPACES: 4
 MUNICIPAL PARKING AVAILABLE WITHIN 55-FT OF THE PROPERTY
OFF-STREET PARKING:
 MUNICIPAL PARKING IS AVAILABLE APPROX. 50-FT SOUTH OF THE PROPERTY.

VICINITY MAP
SCALE: 1" = 200'±



1	04/15/25	VILLAGE OF WARWICK PLANNING BOARD REVIEW
ISSUE	DATE	DESCRIPTION
PROPOSED 2-FAMILY DWELLING SITE PLAN		
28 WHEELER AVE		
SECTION 207 BLOCK 2 LOT 26 VILLAGE OF WARWICK ORANGE COUNTY, NEW YORK		
FRIEDLER ENGINEERING, PLLC		
PH. 845.544.5662		
9 LOCUST STREET WARWICK, NEW YORK 10990 FRIEDLERENGINEERING@OUTLOOK.COM		
DRAWN BY	CHECKED BY	SCALE
BJF	BJF	AS SHOWN
JOB NO.	SHEET NO.	
FE-25045	1 OF 1	