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Hon. John J. Beattie (1872-1924)
Clifford S. Beattie (1899-1952)
John J. Beattie, III (1937-1984)
Emil R. Krahulik (1959-2013)

Robert E. Krahulik*

*Also admitted in FL and NJ
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October 2, 2024

RECEIVED

OCT 02 2024

**VILLAGE OF WARWICK
CLERK'S OFFICE**

Mayor Michael Newhard
Village Board of Trustees
Village of Warwick
77 Main Street
Warwick, New York 10990

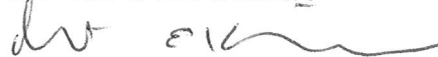
Re: Petition to Amend Village Zoning Map
Vanessa Mann & M&L Equity Auto LLC
42 Orchard Street

Mayor Newhard & Board of Trustees:

This office represents the above Petitioners in connection with a proposed change in zoning classification for a portion of the premises located at 42 Orchard Street in the Village of Warwick. The premises is located adjacent to the Warwick Car Wash and has historically been used by the Warwick Car Wash for traffic flow and snow removal. At the request of the Village Building Inspector we are seeking a change in the zoning classification of this parcel from Residential R to Light Industrial LI to bring the use into compliance with the Village Zoning Code. Conditional Final Approval of the Subdivision Map and Site Plan has already been obtained. This is the last step in the process which also includes a subdivision and conveyance of Ms. Mann's property to M&L Equity Auto LLC, the owner of the Warwick Car Wash.

Very truly yours,

BEATTIE & KRAHULIK



ROBERT E. KRAHULIK

REK
ENCL.

VILLAGE OF WARWICK: VILLAGE BOARD
COUNTY OF ORANGE: STATE OF NEW YORK

In the Matter of the Petition of
VANESSA MANN

and

M&L EQUITY AUTO LLC

for an Amendment to the Village of Warwick
Zoning Map Pursuant to §145-21 of the Code

**VERIFIED PETITION FOR
AMENDMENT TO THE
ZONING MAP**

Of the Village of Warwick

Petitioner VANESSA MANN ("MANN"), respectfully petitions the Village of Warwick Village Board ("Village") to amend the Zoning Map of the Village of Warwick to designate a portion of MANN's lands at 42 Orchard Street, identified on the Village of Warwick Tax Map as a portion of Section 210, Block 11, Lot 5 and identified as Lot 2 on a map entitled M&L EQUITY AUTO, LLC SUBDIVISION & SITE PLAN and prepared by Brian Friedler Engineering PLLC dated June 26, 2024, and last revised October 1, 2024, and to be filed in the office of the Orange County Clerk (hereinafter "the Map" attached hereto at Exhibit B) which is located in the R Residential Zoning District. Lot 2 is contiguous to land owned by the Petitioner M&L EQUITY AUTO LLC and known as Section 210 Block 11 Lot 16.22 located at 18 Elm Street, in the Village of Warwick and operated as a car wash ("the Car Wash") which is located in the LI Light Industrial Zoning District and presents, as and for their verified petition, the following:

1. The Petitioner M&L Equity Auto LLC is a duly organized limited liability company in the State of New York, which is the owner of the Car Wash located in the Village of Warwick.
2. Paul LeDuc is the Member of the Petitioner and is authorized to represent the LLC and makes this petition on its behalf.
3. Vaness Mann is an individual and is the owner of Lot 2.
4. The Lot 2 consists of ± .137 acres of land immediately adjacent to the Car Wash and has historically been used by the Car Wash for commercial purposes in connection with the operation of the car wash and specifically for traffic flow and the stockpiling of excess snow accumulation.
5. Petitioners have entered into a contract of sale for the sale of Lot 2 from MANN to M&L EQUITY AUTO LLC contingent upon subdivision approval and a change in zoning from R Residential to LI Light Industrial.
6. Petitioners have obtained Conditional Final Subdivision and Site Plan Approval from the Planning Board of the Village of Warwick for a subdivision of the

premises owned by MANN creating two lots identified as Lot 1 and Lot 2 on the above referenced Map ("Final Approval"). A copy of the resolution is attached at Exhibit A.

7. Final Approval of the Map is conditioned on the Petitioners obtaining a change in the zoning classification allowing the continued use of Lot 2 for commercial purposes in connection with the operation of the car wash.

8. The Petitioners seek a change in the Zoning District Classification for Lot 2 from R Residential to LI Light Industrial.

9. The legal description of Lot 2 is attached hereto at Exhibit C.

10. The use of Lot 2 for commercial purposes has been ongoing, open and notorious for decades.

11. The continued use of Lot 2 for commercial purposes is consistent with the Master Comprehensive Plan of the Village of Warwick; the historic use of the property; is not detrimental to nearby property owners; promotes the safe and efficient flow of traffic through the Car Wash site; and is in the best interest of the Village of Warwick.

WHEREFORE, Petitioners seek a change in the zoning classification of Lot 2 from R Residential to LI Light Industrial.

DATED: September 30, 2024
Warwick, New York

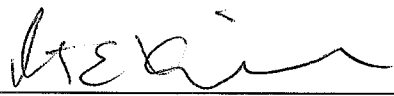

By: Robert E. Krahulik, Esq.
Beattie & Krahulik
Attorneys for Petitioner
2 Bank Street
Warwick, New York 10990
(845) 986-1156

EXHIBIT A

VERIFICATION

STATE OF NEW YORK)
)ss:
COUNTY OF ORANGE)

PAUL LEDUC, being duly sworn states: 1. I am the Member/Manager for M&L EQUITY AUTO LLC, the Petitioner herein; 2. I have read the annexed Petition and it is entirely true based upon my own personal knowledge, except as to those matters which are alleged upon information and belief, and as to such matters the deponent believes them to be true.

PAUL LEDUC

Sworn to before me on the
____ day of October, 2024

Notary Public

VERIFICATION

STATE OF NEW YORK)
)ss:
COUNTY OF ORANGE)

Vanessa Mann being duly sworn, says:

I am the Petitioner in the action herein; I have read the annexed Petition, know the contents thereof, and the same are true to my knowledge, except those matters therein which are stated to be alleged on information and belief and as to those matters, I believe them to be true.

Vanessa Mann
Vanessa Mann

Sworn to before me on the
1st of October, 2024


[Signature]

ROBERT E. KRAHULIK
NOTARY PUBLIC, State of New York
No. 4940119
Qualified in Orange County
Commission Expires August 8, 192026

VERIFICATION

STATE OF NEW YORK)
)ss:
COUNTY OF ORANGE)

PAUL LEDUC, being duly sworn states: 1. I am the Member/Manager for M&L EQUITY AUTO LLC, the Petitioner herein; 2. I have read the annexed Petition and it is entirely true based upon my own personal knowledge, except as to those matters which are alleged upon information and belief, and as to such matters the deponent believes them to be true.



PAUL LEDUC

Sworn to before me on the
2nd day of October, 2024



Notary Public

Antoinette McGee
Notary Public State of New York
No. 01MC6142701
Qualified in Orange County
Commission Expires March 20, 2026

VERIFICATION

STATE OF NEW YORK)
)ss:
COUNTY OF ORANGE)

Vanessa Mann being duly sworn, says:

I am the Petitioner in the action herein; I have read the annexed Petition, know the contents thereof, and the same are true to my knowledge, except those matters therein which are stated to be alleged on information and belief and as to those matters, I believe them to be true.

Vanessa Mann

Sworn to before me on the
____ of October, 2024

RESOLUTION OF APPROVAL
FOR AMENDED SITE PLAN AND SUBDIVISION APPROVAL
FOR
M & L EQUITY AUTO LLC
VANESSA MANN
SBL 210 – 11 – 5
210-11-16.22

Nature of Application

M & L EQUITY AUTO LLC and VANESSA MANN seek to alter the existing lot line between 18 Elm Street (SBL 210-11-16.22) and 42 Orchard Street (SBL 210-11-5). Such alteration consists of transferring 5,963 square feet from 42 Orchard Street to 18 Elm Street. The purpose of the project is to eliminate the existing encroachment of M&L Equity Auto facilities across the rear of the Mann property (42 Orchard Street). Other than the installation of additional screening in the form of landscaping and a fence, the application does not propose any new construction.

Zoning District:

The Mann property (42 Orchard Street) is located in the Residential (R) zoning district. The M&L Equity Auto property (18 Elm) Street is located in the Light Industrial (LI) zoning district. The application requires a zone change by the Village Board of Trustees, rezoning the transferred property from Residential (R) to Light Industrial (LI).

Gasoline service stations, Automobile sales and service, and car washes are conditional uses in the Light Industrial (LI) district as set forth in the Village of Warwick Zoning Code. The site last received site plan approval on August 2, 1990, subject to the terms and conditions of an area variance granted by the Zoning Board of Appeals.

Plans

The Subdivision Approval and Amended Site Plan application materials being considered consist of the following:

1. Application, dated May 8, 2023, submitted by letter dated July 20, 2023.
2. Subdivision Application, dated March 26, 2024
3. A three (3) sheet set of plans containing the following:
 - a. "Site Plan, M&L Equity Auto LLC Lot Line Change" prepared by Friedler Engineering, PLLC, dated June 26, 2023, last revised August 13, 2024 (Entitled "Subdivision Plan")

- b. Subdivision Plan, prepared by Schmick Surveying, Inc., dated March 10, 2023, last revised August 5, 2024
 - c. Subdivision Plan, sheet 2, prepared by Schmick Surveying, Inc., dated March 10, 2023, last revised August 5, 2024, containing the Zoning Board of Appeals decision.
4. Short Form Environmental Assessment Form (SEAF) dated May 8, 2023.

History

Date of Application

The Planning Board initially received an application for a lot line change on or about July 20, 2023. By memorandum dated October 3, 2023, Planning Board Attorney Robert Dickover opined that the Village Code required that the project be treated as a subdivision application and not a lot line change application.

The Applicant submitted a subdivision application dated April 17, 2024, which was initially taken up by the Planning Board at its May 14, 2024 meeting.

By memorandum dated August 27, 2024, Planning Board Attorney Elizabeth Cassidy opined that in addition to subdivision approval, site plan approval was also required. The Planning Board took up site plan considerations at its September 10, 2024 meeting.

GML 239 Referral

This application was not subject to review by the Orange County Planning Department.

SEQRA

Lead Agency & Type of Action:

At its May 14, 2024, the Planning Board adopted a resolution declaring Lead Agency pursuant to the New York State Environmental Quality Review Act (SEQRA) and further declared that the proposed action was an Unlisted action, and that uncoordinated review was warranted.

Zoning Board of Appeals

The Village of Warwick Zoning Board of Appeals, by decision signed April 25, 2024, granted an area variance reducing the minimum lot area 42 Orchard Street (SBL 210-11-5) from 20,000 square feet to 6,625 square feet. 42 Orchard Street was originally 12,589 square feet.

Public Hearing

A public hearing was held on August 13, 2024, and held over until September 10, 2024 as to the Subdivision Application.

With respect to site plan, pursuant to its authority set forth the Village of Warwick Code § 145-96, the Planning Board resolved that given the nature of the amendments coupled with the fact that the subdivision application contained substantially similar information that a separate public hearing on the site plan would not be required.

On August 13, 2024, one neighbor spoke requesting the opportunity to review the revised plan. The public hearing was held open to accommodate that request. No further public comment was received.

Findings

The Planning Board has determined that final approval of the amended site plan and subdivision approval will substantially serve the public convenience, safety and welfare in that the proposed project better screens the existing Light Industrial Use from the adjoining residential properties. The purpose of the instant application is to conform the documents on file with the Village of Warwick with what exists on site and has been developed overtime.

The Planning Board discussed at length various options for screening the light industrial uses from the adjoining residential properties. The applicant will extend the existing fence line which runs in a East-West direction parallel to Orchard Street through 42 Orchard Street. The western most property line will be shielded with a series of Arbor Vitae planted in two offset rows. The Board finds that planted screening on this property line will have less impact on the floodplain and allows flood water to travel through the natural trees compared with a fence.

Resolution of Approval,

NOW, THEREFORE, THE PLANNING BOARD RESOLVES to grant final approval to the amended site plan application and subdivision applications of M&L Equity Auto LLC and Vanessa Mann as depicted on the plans identified above upon conditions outline below, and the Chairperson (or his designee) is authorized to sign the plans upon satisfaction of those conditions below noted to be conditions precedent to such signing.

General Conditions

1. This approval is conditioned upon the applicant submitting all necessary copies of the plans to be signed, as required to the Village of Warwick Planning Department.
2. This approval is further conditioned upon the applicant paying or depositing into escrow all applicable review, inspection and any other applicable fees.
3. This approval is further conditioned upon the applicant delivering (prior to signing the plans) proof, in writing, that all fees - engineering, legal and otherwise - in regard to this project have been fully paid.
4. The plans shall not be signed until proof satisfactory to the chair, has been presented showing that all conditions of this approval have been fulfilled or otherwise satisfied.
5. All conditions of this conditional approval shall be fulfilled within twelve (12) months from the date of the Village Board approval of the zone change as required by Specific Condition 11 unless the applicant shall, within said twelve (12) month period and prior to expiration of said time, file with the Planning Board a request for an extension of this conditional approval and prove to the satisfaction of the Planning Board that such extensions is justified based upon such matters as are outside the control of the applicant. Upon expiration of said twelve (12) month period without an extension having been granted this conditional approval shall lapse.
6. All conditions precedent to this approval shall be satisfied prior to issuance of a Building Permit for the new fence.
7. No approval is intended to be given or is given by this resolution for site plan elements depicted on adjoining properties.

8. Construction hours at the project site shall be limited to the hours of 7:00 am and 7:00 pm on weekdays and 8:00 am and 7:00pm on Saturdays. There shall be no construction on Sundays.
9. The Chairman shall be authorized to sign the site plan and subdivision plat upon receipt of written confirmation from the Village Engineer and Planning Board Attorney that the final site plan and subdivision plat conform to the terms of this approval.

Specific Conditions

10. This approval is subject to a zone change by the Village Board of Trustees within 12 months of this approval. In the event such zone change is not granted, M&L Equities shall return to the Village Planning Board for amended site plan approval.
11. This approval is subject to the terms and conditions of the Decision of the Village of Warwick Zoning Board of Appeals dated April 25, 2024.
12. Prior to signing the plat, applicant to file an easement in favor of the Village of Warwick confirming and restating the sewer easement given by Booker J. Smith Enterprises, Inc. to the Village of Warwick, dated August 14, 1998, and recorded in the Orange County Clerk's office on September 18, 1998 in Liber 4874 at Page 46.
13. Prior to signing the plat, applicant to locate existing sewer easement on plan.
14. Prior to signing the plat, applicant to address all outstanding comments as set forth in the memorandum of Keith Woodruff, Engineering & Surveying Properties, dated September 4, 2024.
15. Landscaping to be maintained in perpetuity.
16. Applicant to submit site plan application materials together with the applicable fee to reflect the inclusion of site plan approval.
17. Applicant to remove gravel area to the extent it encroaches on SBL 210-11-4.
18. The proposed fence shall be constructed to a height of six feet to be consistent with the existing privacy fence.
19. Subdivision Plat to be filed in the office of the Orange County Clerk within sixty-two (62) days from the map signature date, with a copy to be furnished to the Village of Warwick Clerk.

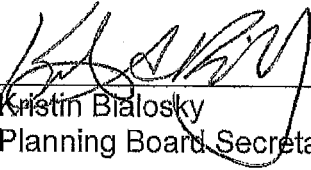
In Favor 5 Against 0 Abstain 0 Absent 0

Dated: September 10, 2024



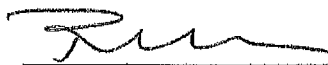
JESSE GALLO, Chairman
VILLAGE OF WARWICK PLANNING BOARD

Filed in the Office of the Planning Board Clerk on this 19th day of September 2024



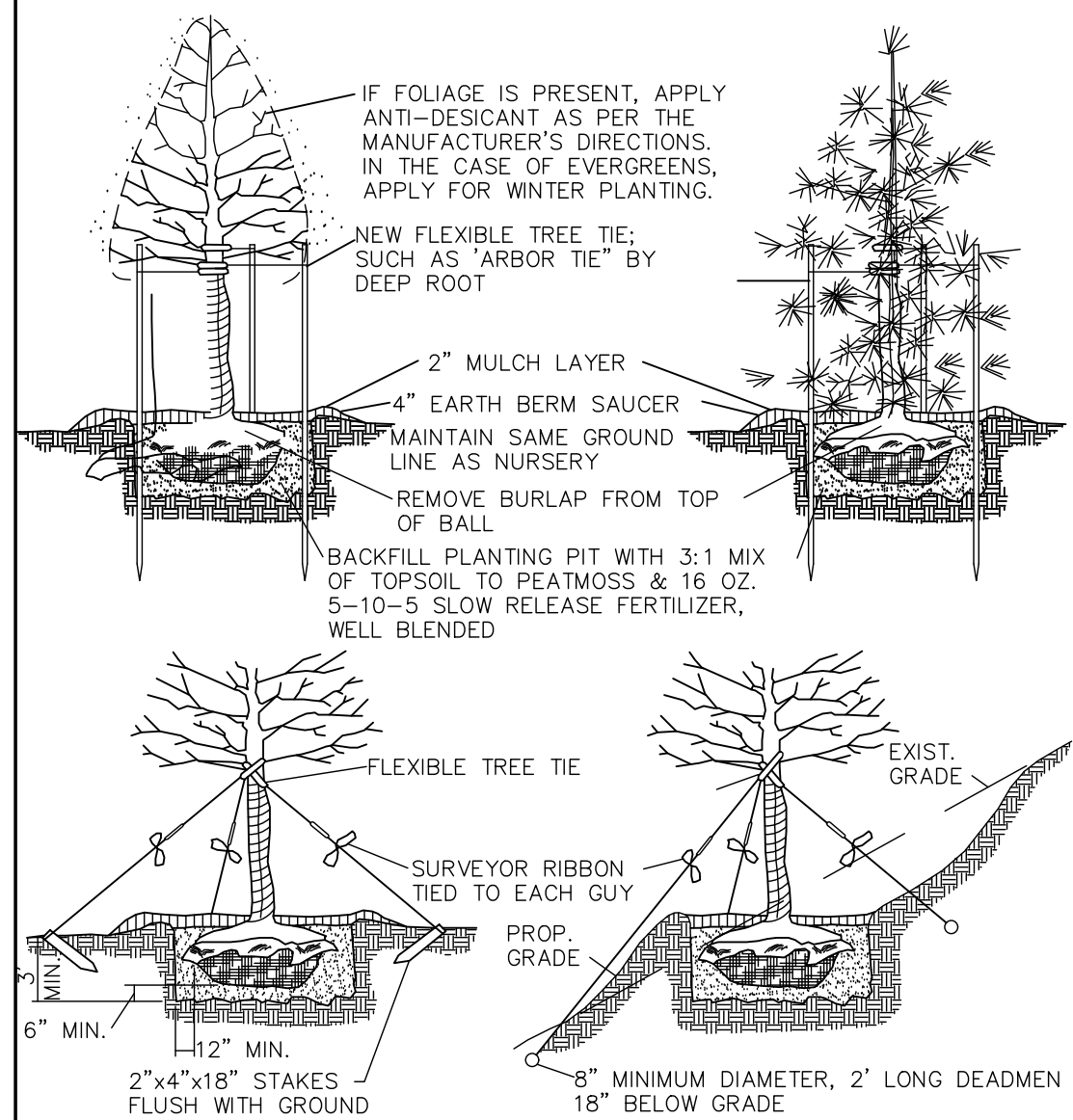
Kristin Bialosky
Planning Board Secretary

I, Raina Abramson, Clerk of the Village of Warwick, does hereby certify that the foregoing resolution was filed in the Office of the Village Clerk on September 20, 2024

A handwritten signature in dark ink, appearing to read 'Raina', written over a horizontal line.

Raina Abramson, Clerk
Village of Warwick

EXHIBIT B



PLANT MATERIALS :
PLANT MATERIALS SHOULD BE OF THE SPECIFIED SPECIES AND VARIETY, UNLESS OTHERWISE DIRECTED IN WRITING. ALL PLANTS, WHETHER BALLED AND BURLAPPED OR IN A CONTAINER, SHALL HAVE ROOT BALLS THAT AREN'T CRACKED OR BROKEN. PLANT MATERIALS THAT ARE STORED ON SITE FOR LONGER THAN 3 DAYS SHALL HAVE THE ROOT BALLS PROTECTED BY WET MOSS OR OTHER SUITABLE MATERIAL AND KEPT WATERED.

5-10-5 SLOW RELEASE FERTILIZER SHALL BE THOROUGHLY MIXED WITH THE BACKFILL AT A RATE OF 8 OZ. PER SHRUB AND 16 OZ. PER TREE. PLANT MATERIALS SHALL BE THOROUGHLY WATERED FOLLOWING PLANTING AND PRIOR TO GUYING AND STRAIGHTENING (IF REQUIRED).

SHREDDED HARDWOOD BARK MULCH :

AREAS SHOWN ON THE PLAN AND SPECIFIED BELOW ARE TO RECEIVE A 2" LAYER OF BARK MULCH. BARK MULCH AREAS INCLUDE ALL PLANTING BEDS, SHADE TREES AND ALL OTHER AREAS AS SHOWN ON THE PLAN. THE MULCH AREAS SHALL BE UNDERLAIN WITH A FABRIC WEED BARRIER.

ONLY HARDWOOD BARK MULCH SHALL BE USED AND SHALL NOT CONTAIN LEAVES, TWIGS, BRANCHES, WOOD SHAVINGS, DIRT, STONES, CODS OF TURF OR OTHER FOREIGN MATERIAL OR DEBRIS. BARK MULCH SHALL NOT EXCEED 2" IN ANY DIMENSION.

FABRIC WEED BARRIER SHALL BE A PRODUCT DESIGNED FOR THIS PURPOSE AND SHALL BE BLACK IN COLOR.

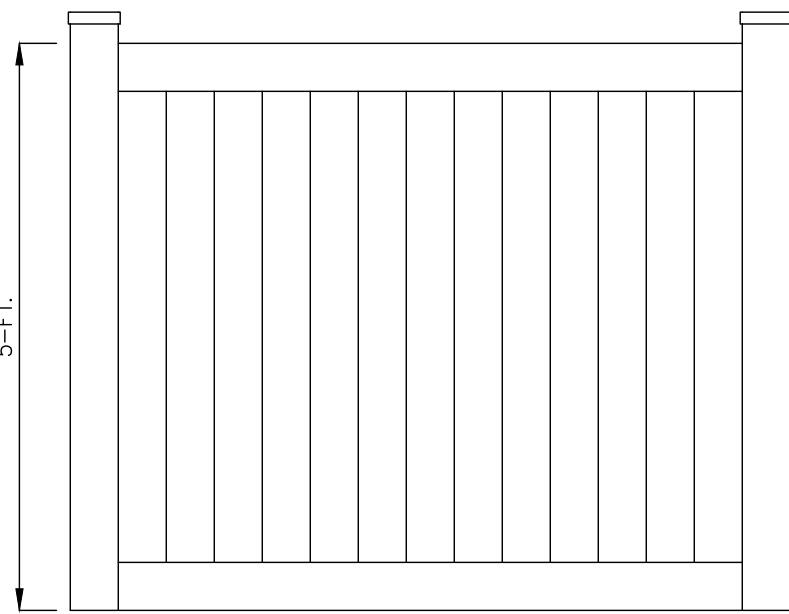
WHEN THE 2" BARK MULCH LAYER IS SPREAD, THE SURFACE OF THE MULCH WILL BE FLUSH WITH ADJACENT AREAS. PROVIDE A SAUCER RIM AS PER DETAILS. IF, PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, ANY BARK MULCH HAS BEEN DISPLACED, THE DISPLACED AREAS WILL BE RESTORED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.

LANDSCAPING DETAILS

N.T.S.

VILLAGE SEWER MANHOLE NOTE:

SEWER MANHOLE NO. 3016 LOCATION TO BE VERIFIED BY THE VILLAGE OF WARWICK. NOT PHYSICALLY LOCATED PER SEWER MANHOLE LOCATIONS MAP, DATED AUGUST 7, 2014, BY LANC & TULLY.



5-FT H X 8-FT W TAN VINYL SOLID FENCE

N.T.S.

ZONING DATA :

RESIDENTIAL (R) - SECTION 210, BLOCK 11, LOT 5
EXISTING USE: ONE FAMILY RESIDENCE
PROPOSED USE: ONE FAMILY RESIDENCE

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	20,000 SQ.FT.	12,589 SQ.FT.(*)	6,625 SQ.FT.(**)
MIN. LOT WIDTH	100 FT.	53.0 FT.(*)	53.0 FT.(*)
FRONT SETBACK	35 FT.	20.8 FT.(*)	20.8 FT.(*)
MIN. FRONT YARD	35 FT.	13.0 FT.(*)	13.0 FT.(*)
MIN. REAR SETBACK	35 FT.	154 FT.	59 FT.
MIN. REAR YARD	10 FT.	152 FT. ±	57.0 FT. ±
MIN. SIDE SETBACK	20 FT.	7.1 FT.(*)	7.1 FT.(*)
TOTAL SIDE SETBACK	50 FT.	16.7 FT.(*)	16.7 FT.(*)
MIN. SIDE YARD	10 FT.	7.1 FT.(*)	7.1 FT.(*)
MIN. STREET FRONTAGE	80 FT.	53.0 FT.(*)	53.0 FT.(*)
MAX. BLDG. HEIGHT	35 FT./3 STRY.	≤ 35 FT./3 STRY.	≤ 35 FT./3 STRY.
DEVELOPMENT COVERAGE	35%	14.7% ±	28.0% ±
MIN. LOT DEPTH	125 FT.	237.5 FT.	125 FT.
LIVABLE FLOOR AREA	1,250 SF	>1,250 SF	>1,250 SF

(*) NON-CONFORMING, PRE-EXISTING CONDITION
(**) VARIANCE GRANTED BY THE VILLAGE OF WARWICK ZONING BOARD OF APPEALS FILED IN THE OFFICE OF THE VILLAGE CLERK ON APRIL 25, 2024.

LIGHT INDUSTRIAL (LI) - SECTION 210, BLOCK 11, LOT 16.22

EXISTING USES: GASOLINE SERVICE STATION, AUTOMOBILE SALES AND SERVICE, INCLUDING REPAIRS, AND CAR WASHES.
PROPOSED USES: GASOLINE SERVICE STATION, AUTOMOBILE SALES AND SERVICE, INCLUDING REPAIRS, AND CAR WASHES.

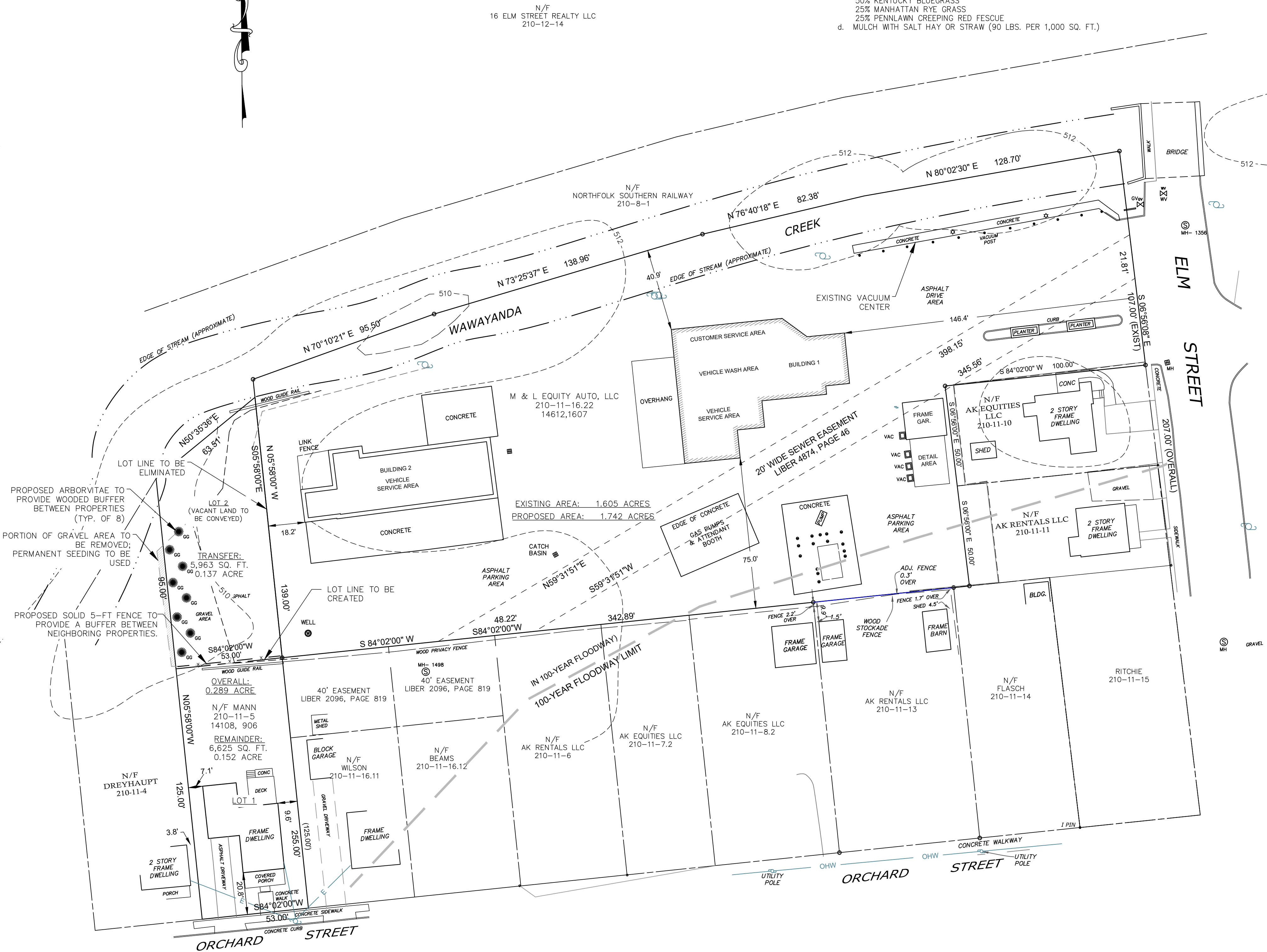
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	12,589 SQ.FT.	69,913.8 SQ.FT.	75,881.5 SQ.FT.
MIN. LOT WIDTH	100 FT.	180 ± FT.	180 ± FT.
FRONT SETBACK	35 FT.	47 ± FT.	47 ± FT.
MIN. FRONT YARD	N/A	N/A	N/A
MIN. REAR SETBACK	20 FT.	40.9 FT.	40.9 FT.
MIN. REAR YARD	10 FT.	18.2 FT.	71.2 FT.
MIN. SIDE SETBACK	10 FT.	> 10 FT.	> 10 FT.
TOTAL SIDE SETBACK	20 FT.	0 ± FT. (*)	0 ± FT. (*)
MIN. SIDE YARD	10 FT.	107.0 FT.	107.0 FT.
MIN. STREET FRONTAGE	100 FT.	≤ 35 FT./3 STRY.	≤ 35 FT./3 STRY.
MAX. BLDG. HEIGHT	40 FT.	89% ± (*)	86% ± (**)
DEVELOPMENT COVERAGE	80%	34.3 ± FT.	396 ± FT.
MIN. LOT DEPTH	100 FT.		

NOTE 1: THE REQUIRED FRONT SETBACK NOT BE GREATER THAN THE AVERAGE SETBACK OF THE TWO NEAREST NEIGHBORING STRUCTURES LOCATED ON THE SAME SIDE OF THE STREET WITH 150-FOOT OF THE PROPOSED BUILDING.
(*) NON-CONFORMING, PRE-EXISTING CONDITION
(**) NON-CONFORMING

GRAVEL AREA ENCROACHMENT REMEDIATION

REMOVAL OF EXISTING GRAVEL AREA EXTENDING ONTO PORTION OF LOT 210-11-4
REMEDICATION OF THIS AREA WITH PERMANENT AS FOLLOWS:

- LOOSEN SEVERELY COMPACTED AREAS BY DISING TO 12" DEPTH.
- FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 FERTILIZER (20 LBS. PER 1,000 SQ. FT.)
- SEED WITH THE FOLLOWING MIXTURE AT 5 LBS. PER 1,000 SQ. FT.:
 - 50% KENTUCKY BLUEGRASS
 - 25% MANHATTAN RYE GRASS
 - 25% PENNLAWN CREEPING RED FESCUE
- MULCH WITH SALT HAY OR STRAW (90 LBS. PER 1,000 SQ. FT.)



GENERAL NOTES

- TAX MAP DESIGNATION: SECTION 210, BLOCK 11, LOT 5 & 16.22
18 ELM STREET, WARWICK, NY 10990
42 ORCHARD STREET, WARWICK, NY 10990
- RECORD OWNERS / APPLICANTS:
SBL: 210-11-16.22
M & L EQUITY AUTO, LLC
18 ELM STREET
WARWICK, NY 10990
SBL: 210-11-5
VANESSA MANN
42 ORCHARD STREET
WARWICK, NY 10990
- PROPERTY AREAS:
210-11-16.22: EXISTING: 1.605 ACRES
PROPOSED: 1.742 ACRES
EXISTING: 0.289 ACRES
210-11-5: PROPOSED: 0.152 ACRES
- ZONING AND USES:
SECTION 210, BLOCK 11, LOT 16.22 - LIGHT INDUSTRIAL (LI)
EXISTING USES: GASOLINE SERVICE STATION, AUTOMOBILE SALES AND SERVICES, INCLUDING REPAIRS, AND CAR WASHES.
PROPOSED USES: GASOLINE SERVICE STATION, AUTOMOBILE SALES AND SERVICES, INCLUDING REPAIRS, AND CAR WASHES.
SECTION 210, BLOCK 11, LOT 5 - RESIDENTIAL (R)
EXISTING USE: ONE FAMILY RESIDENCE
PROPOSED USE: ONE FAMILY RESIDENCE
- EXISTING WATER SUPPLY: VILLAGE OF WARWICK WATER SYSTEM
- EXISTING SEWAGE DISPOSAL: VILLAGE OF WARWICK SEWER SYSTEM
- SURVEY INFORMATION PROVIDED BY SCHMICK SURVEYING, INC. P.L.S., DATED MARCH 10, 2023. TOPOGRAPHY INFORMATION TAKEN FROM ORANGE COUNTY IMAGE MATE.
- NATIONAL FLOOD HAZARD ELEVATIONS TAKEN FROM FEMA FIRMETTE MAP 3607100463E, EFF. 08/03/2009. 100-YEAR FLOOD ELEVATION 516.5. VERTICAL DATUM IS THE N.A.V.D.88

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY LINES, WHETHER IN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS, OR IN PRIVATE PROPERTY PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES THROUGHOUT THE COURSE OF CONSTRUCTION. PROJECT SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION 2 FULL WORKING DAYS BEFORE YOU DIG AT 1-800-962-7962.

LEGEND

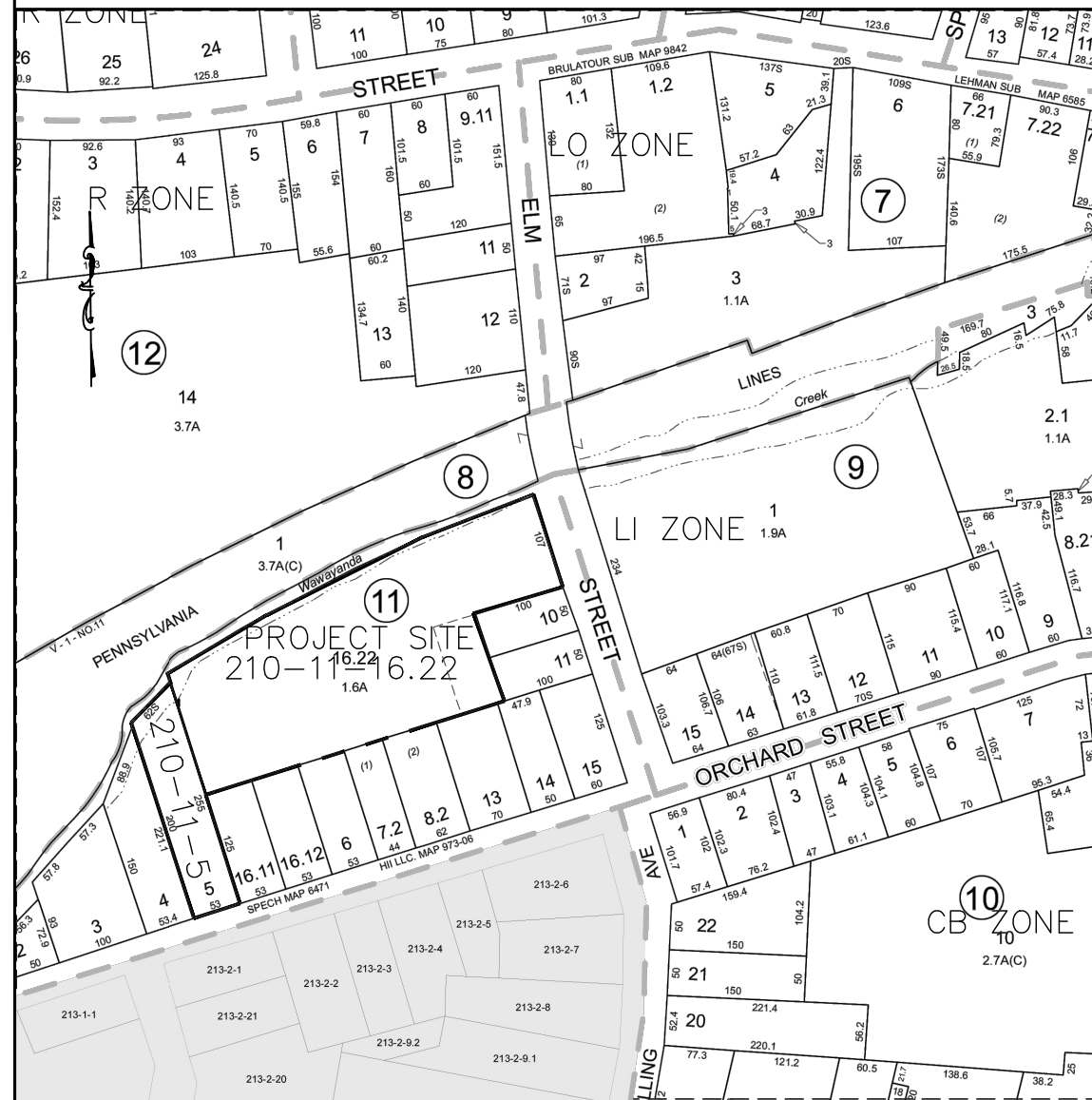
---	EXISTING PROPERTY LINE
---	OVERHEAD UTILITY LINES
---	STREAM
---	EXISTING CONTOUR
X	PROPOSED FENCE

PROPOSED TREES

TYPE:	QTY:	SYMB:	BOTANICAL NAME:	COMMON NAME:
ARBORVITAE	8	GG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE
				SIZE AT PLANTING: 7'-8'

VICINITY MAP

SCALE: 1" = 200'±



4	10/01/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
3	09/04/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
2	08/13/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
1	06/26/23	VILLAGE OF WARWICK PLANNING BOARD REVIEW
ISSUE	DATE	DESCRIPTION

SUBDIVISION PLAN

M&L EQUITY AUTO, LLC SUBDIVISION & SITE PLAN

SECTION 210 BLOCK 11 LOT 5 & 16.22
VILLAGE OF WARWICK
ORANGE COUNTY, NEW YORK

FRIEDLER ENGINEERING, PLLC

PH. 845.544.5662
9 LOCUST STREET WARWICK, NEW YORK 10990
FRIEDLERENGINEERING@OUTLOOK.COM

DRAWN BY	CHECKED BY	SCALE	JOB NO.	SHEET NO.
BJF	BJF	AS SHOWN	FE-23037	1 OF 1

APPROVED FOR FILLING:

OWNER(S) DATE

OWNER(S) DATE

APPROVED AS A FINAL SITE PLAN BY A RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WARWICK ON

CHAIRMAN DATE

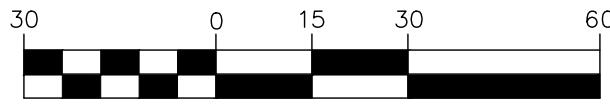
VILLAGE ENGINEER DATE

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BRIAN FRIEDLER, P.E.
NEW YORK LICENSE # 105494

GRAPHIC SCALE



1" = 30'

EXHIBIT C

Schedule A

All that certain piece and parcel of land located in the Village of Warwick, Town of Warwick, County of Orange And State of New York and known as Lot 2 on a map entitled M&L EQUITY AUTO, LLC SUBDIVISION & SITE PLAN and prepared by Brian Friedler Engineering PLLC dated June 26, 2024, and last revised October 1, 2024, and to be filed in the office of the Orange County Clerk.