

IRACE ARCHITECTURE P.C.

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Warwick, New York 10990

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October 20, 2025

Village of Warwick Building Department
77 Main St., Warwick, NY 10990

RE: ANA RESTAURANT
22 Spring Street
Warwick, New York

SUBJECT: Proposed one bedroom apartment

Dear Village of Warwick Planning Board,

Please find attached Change of Use Waiver Application for alterations propose to the existing commercial building located at 22 Spring St., Ana Restaurant, including:

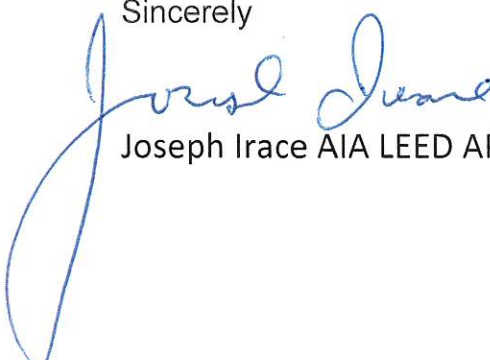
- Application check for \$ 150.
- Escrow check for \$ 300.
- Construction plans.

We are proposing to convert an existing 520 ft.² second floor dining balcony into a one-bedroom apartment. Alteration work will be limited to the interior and to include constructing some partition walls, a full bathroom and kitchen, and removing an existing stairway to the restaurant below. The existing HVAC system and sprinkler system will remain.

The current use of the property is restaurant on the first floor, and three existing apartments on the second floor. The alteration work will result in 520 ft.² less restaurant space, and a total of four apartments on the second floor.

Please let us know if you require any additional information in reference to this application.

Sincerely


Joseph Irace AIA LEED AP



Village of Warwick Planning Board
Change of Use Waiver Application

\$150 Application
\$300 Escrow

For Office Use Only:

Action Date: _____ Date Received: 10/23/25
Fees Paid/Amt: ✓ Received By: Kristin Bralovsky

Has the ZBA granted any variances or special permits for this property?: Yes
(Attach a copy of any variance or special permit to this application)

Please include a copy of the most recent or previously approved Site Plan.

Owner's Name: LEO DUKLAL / ANA RESTAURANT
Address: 22 SPRING STREET
WARWICK, N.Y. 10990-1351
Telephone: Home: 914-261-8088 Business: 845-986-7898

Applicant's Name: JOSEPH IRACE AIA
Address: 15 ELM STREET
WARWICK, N.Y. 10990
Telephone: Home: _____ Business: _____

Tax Map ID: _____
Section: 207 Block: 5 Lot(s): 35

Project Location: 22 SPRING STREET, WARWICK, N.Y.

Zoning District: CB Parcel Area (SF/Acres): 0.098 ACRES

Applicant to complete the following questions:

1. Identify the EXISTING & PROPOSED category of use(s) of the property & building (Check all that apply):

****See Section 145-30 Use Table for uses within each category (Included as Attachment 1**)**

EXISTING

Type of Use	
Residential	☒
Mixed Uses	☐
General Uses	☐
Business and Service Uses	☒

PROPOSED

Type of Use	
Residential	☒
Mixed Uses	☐
General Uses	☐
Business and Service Uses	☒

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Change of Use Waiver Application

2. Identify the EXISTING & PROPOSED use(s) of the property and building (Complete the following table):

Building Story	Existing Use	Existing Area (SF)	Proposed Use	Proposed Area (SF)
First Floor	RESTAURANT	3,594	RESTAURANT	3,594
Second Floor	RESTAURANT 3 APARTMENTS	855 1,349	4 APARTMENTS	2,204
Third Floor	N/A			

Describe the PROPOSED use(s): EXISTING 2ND FLOOR RESTAURANT
BALCONY TO BE CONVERTED TO A ONE BEDROOM
APT.

3. Identify the Specific Use and Use Group that applies to the proposed use(s): CB USE GROUP K-EATING &
 (See Section 145-31 for the Use Table and specific uses - Included with this form as Attachment 1) G-APARTMENT

4. Is the property located within the Historic District? (Y/N): N

5. Are there any physical changes proposed to the property or exterior of the building? (Y/N) (If Yes, Describe.
 If No, skip Questions 6, 7, & 8):

6. Complete the following table for the applicable Bulk Zoning Requirements for the proposed use/use group:
 (See Chapter 145 ZONING, Article IV BULK REQUIREMENTS of the Village of Warwick Code - Attachment 2)

	Required	Existing	Proposed
Min Lot Area (SF)			
Lot Width (FT)			
Front Setback (FT)			
Side Setback (FT)			
Total Side Setback (FT)			
Side Yard (FT)			
Side Yard w/in 25' of a R Zone			
Rear Setback (FT)			
Rear Yard (FT)			
Rear Yard w/in 25' of a R Zone			
Street Frontage (FT)			
Max Height (FT)			
Development Coverage (%)			
Building Coverage (%)			
Floor Area Ratio (F.A.R.)			
Lot Depth (FT)			
Livable Floor Area/Unit (SF)			
Lot Area/Dwelling Unit (FT)			
Bedrooms/Acre Lot Area			

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7. Are there any EXISTING easements for access, drainage, sewer/water utility lines, underground/above ground utility rights-of-way, street rights-of-way, etc.? (Y/N) If yes, identify each by type, size, and location:

(**All existing easements & ROWs should be shown on the property survey submitted with this application**)

8. Will any of the EXISTING easements identified above be altered, changed, or effected by the proposed change of use? (Y/N):

If the project is located within the Historic District it must be referred to the Village of Warwick AHDRB

9. Are there any physical changes proposed to the interior of the building? (Y/N) (Describe): ADD PARTITION WALLS, ADD FULL BATHROOM + KITCHEN, REMOVE STAIRWAY,

10. Is the property located wholly or partially within a FEMA designated Floodplain (Y/N)? Y
(FEMA Floodplain maps available for review at Village Hall)

11. Identify the total EXISTING and PROPOSED water and sewer usage rates for each use in gallons per day (GPD):
(See Water Billing Clerk for past data) (See Attachment 3 for standard usage rates)

	Existing Use	Proposed Use
Water Use (GPD)	1430	1430
Sewer Use (GPD)	1430	1430

12. Is on-street parking available near the site? (Y/N): YES

13. Is a Municipal Parking Lot available within 300-FT of the site? (Y/N) Identify Location: YES

14. Identify the number of on-site parking spaces Provided for the EXISTING and PROPOSED use(s):

	Existing Use	Proposed Use
# Spaces Provided	0	0

15. Identify the total EXISTING and PROPOSED number of persons occupying the site as employees, customers, or otherwise:

	Existing Use	Proposed Use
# Employees	7	7
# Customers	100	100
# Other Users	5 IN APTS	7 IN APTS

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Change of Use Waiver Application**

16. Identify the number of deliveries per day for the EXISTING and PROPOSED use(s):

	Existing Use	Proposed Use
# Deliveries/Day	1	1

17. Identify the number, location, and size of loading spaces for the EXISTING and PROPOSED use(s):

	Existing Use	Proposed Use
# Loading Areas	1	1
Loading Area Size	50'	50'
Loading Location	FRONT	FRONT

18a. Identify the amount of solid waste/garbage generated by the EXISTING and PROPOSED use(s):

	Existing Use	Proposed Use
Cans of Waste Generated/Wk.	2	2

18b. Identify the method of solid waste disposal for the EXISTING and PROPOSED use(s):

	Existing Use	Proposed Use
Waste Disposal Method	2 x WEEK	2 x WEEK

(i.e. How often is waste collected?
Will individual cans or a dumpster
be used?)

18c. Identify the location of any outdoor storage of solid waste for the EXISTING and PROPOSED use (S):

	Existing Use	Proposed Use
Outdoor Waste Storage Location	LEFT SIDE REAR	LEFT SIDE REAR

19. Will the PROPOSED use increase the location, amount of, and intensity of exterior lighting? (Y/N):

If YES, Describe:

N

20. Will there be any change in the existing drainage or stormwater detention areas? (Y/N) If YES, Describe:

N

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**Village of Warwick Planning Board
Change of Use Waiver Application**

21. Will there be any increase in demand of municipal services such as fire, police, ambulance, school services, etc? (Y/N): NO If yes, please describe: _____

22. Will the proposed use routinely produce odors? (Y/N) If YES, Describe: NO

23. Will the proposed use produce operating noise exceeding the local ambient noise levels? (Y/N)

If YES, Describe: NO

24. Identify the hours of operation for the EXISTING and PROPOSED use(s):

	Existing Use	Proposed Use
Hours of Operation	1130 to 900	1130 to 900

26. Are any other outside agency approvals required for the PROPOSED use? (Y/N) If yes, list all approvals:

NO

****Applicant to certify that the above information is complete and correct. All required information must be completed in order for the Change of Use Waiver Application to be heard at a Planning Board meeting****

Signature of Applicant: _____

Date: 10/15/25

Signature of Owner/Agent: _____

Date: 10/15/25

To be completed by the Village of Warwick Planning Board Secretary:

****Note: The Planning Board Secretary is authorized to review this application for completeness purposes only. Once the application has been deemed complete it will be forwarded to the Planning Board for formal action.****

1. Has the information in this Waiver Application been reviewed for completeness? (Y/N): _____

2. Has the Applicant submitted a current certified property survey? (Y/N) NO

A 210 Survey Attached

Signature of Planning Board Secretary

10/23/25
Date

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Village of Warwick Planning Board
Change of Use Waiver Application

To be completed by the Village of Warwick Planning Board:

1. Has the information in this Waiver Application been reviewed by the Planning Board for completeness and accuracy? (Y/N): _____

2. Does this application require formal Site Plan Review/Approval by the Planning Board? (Y/N) (Describe): _____

Waiver Approval: YES ☐ NO ☐ Date: _____

Does the Planning Board have any specific comments or conditions on this Waiver Approval? _____

Signature of Planning Board Chairman

Date

RECEIVED

MAY 26 2011

RESOLUTION OF APPROVAL

FINAL SITE PLAN

**VILLAGE OF WARWICK
VILLAGE CLERKS OFFICE**

FOR

22 SPRING STREET LLC FOR A PROJECT REFERRED TO AS

FRATELLO RESTAURANT

ORIGINAL

Nature of Application

22 Spring Street LLC has applied for Site Plan approval allowing construction of a two story addition to the existing building located at the corner of Spring and McEwen Street being a $\pm$.098 acre parcel.

Property Involved

The property affected by this resolution is shown on the Tax Maps of the Village of Warwick as parcel(s) 207 - 5 - 35.

Zoning District

The property affected by this resolution is located in the CB zoning district of the Village of Warwick.

Plans

The Site Plan materials being considered consist of the following:

1. A site plan entitled "22 Spring Street, LLC/Fratello: Proposed Addition" made by Christopher JP Collins, RA, Leed first dated March 11, 2011, last revised May 17, 2011, all consisting of 1 page(s).

History

Date of Application

The application was filed with the Planning Board on or about April 12, 2010.

Public Hearing

A public hearing on this application was convened and closed on April 21, 2011.

SEQRA

Type of Action:

This matter constitutes a Type I action under the State Environmental Quality Review Act due to its proximity to the Historic District.

Lead Agency:

The Village of Warwick Planning Board is the lead agency in regard to this action. The Planning Board's status as lead agency was established on April 21, 2011.

Declaration of Significance:

A negative declaration was adopted on April 21, 2011.

GML 239 Referral

This application was not referred to the Orange County Planning Department for review.

AHRB Referral

This application was referred to the Village of Warwick Architectural and Historical Review Board and said Board returned its determination that it had no objection to the application.

Findings

The Planning Board has determined that final approval of this site plan addresses the Public Health, Safety and Welfare, the comfort and convenience of the public in general and of the prospective occupants of the project and of the immediate neighborhood in particular.

Other Findings

Further, the Planning Board Resolves that all required elements for site plan submission not shown on the plans identified above are hereby waived subject to inclusion of the changes to be made as noted in the following conditions of approval. The Building Inspector is authorized, upon satisfaction of all conditions of this resolution, to issue the approvals necessary to allow the applicant to pursue the use proposed; and

The Planning Board's approval of this plat shall not constitute an approval of any site plan features located off of the subject premises, including encroachments, as shown on these plans, which features and encroachments are existing off-site conditions not altered by this approval. No approval is made or intended with respect to the off-site improvements depicted on the plan which are not located on the property which is the subject of this application.

The Village of Warwick Zoning Board of Appeals granted the applicant a variance by its resolution dated December 22, 2010. The approval signified by this resolution is subject to the construction and use of the premises pursuant to continued compliance with the terms and conditions of said variance.

Resolution of Approval

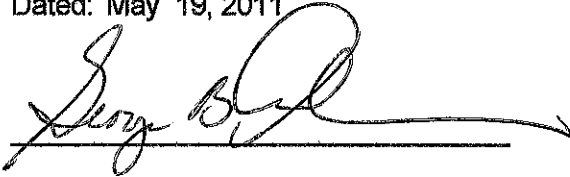
Now, Therefore, The Planning Board Resolves to grant final approval to the site plan application of 22 Spring Street, LLC as depicted on the plans identified above and upon the conditions outlined below, and the Chairperson (or his designee) is authorized to sign the plan(s) upon satisfaction of those conditions below noted to be conditions precedent to such signing.

Specific Conditions Precedent

1. The applicant is to pay all fees prior to signing of the plan by the chairman.
2. Applicant to comply with any applicable NYS building codes;
3. Applicant to comply with the design and construction of the exterior as approved by the ARB;
4. Applicant to comply with all of the terms of that certain Decision of the Village of Warwick Zoning Board of Appeals dated December 22, 2010.;

In Favor 4 Against 0 Abstain 0 Absent 1

Dated: May 19, 2011

A handwritten signature in dark ink, appearing to read "George Aulen", is written over a horizontal line.

GEORGE AULEN, Chairman

VILLAGE OF WARWICK PLANNING BOARD

NOTE: The owner of the premises which is subject to this approval, their successors, heirs, and assigns, are hereby advised to apprise themselves of the provisions of Village Code Section 145-98 which provides for the expiration of approved site plans. The provisions of Section 145-98 provide in part that:

A. Every Site Plan approval shall expire if the work authorized has not commenced within twelve (12) months from the date of its approval, subject to any extension or has not been completed within twenty-four (24) months from the date of Site Plan approval unless the applicant has requested and been granted a phased construction schedule.

B. If construction has not been commenced within one (1) year from the approval of the Site Plan or phased construction schedule has not been completed, the holder of the approval may apply to the Planning Board for an extension not to exceed one (1) additional year and such application for extension must be filed prior to the end of the one year period. Upon the payment of one-half (1/2) of the application fees required for the original Site Plan approval and any professional review fees incurred, the Planning Board may, in its discretion and for due cause, extend the approval for a period not to exceed one (1) additional year from the date of its expiration.

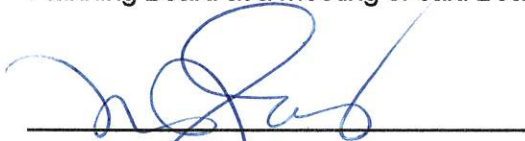
C. Failure to receive an extension or complete work within the time prescribed, if any specified in the approval, shall require that a new Site Plan approval application be filed and a new approval issued before any work may commence or continue.

STATE OF NEW YORK)

)ss:

COUNTY OF ORANGE)

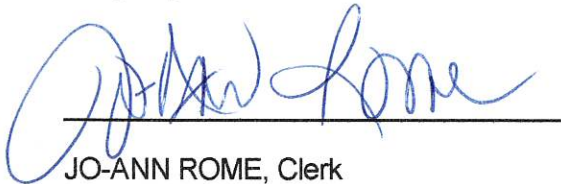
I, MAUREEN EVANS, Secretary of the Planning Board of the Village of Warwick, do hereby certify that the foregoing is a true and exact copy of a Resolution adopted by the Planning Board at a meeting of said Board held on May 19, 2011.



MAUREEN EVANS, Secretary

VILLAGE OF WARWICK PLANNING BOARD

I, JO-ANN ROME, Clerk of the Village of Warwick, does hereby certify that the foregoing Resolution was filed in the Office of the Village Clerk on 5/26/11.



JO-ANN ROME, Clerk

VILLAGE OF WARWICK

DETERMINATION OF THE ZONING BOARD OF APPEALS
OF THE VILLAGE OF WARWICK, NEW YORK

WHEREAS, 22 SPRING STREET, LLC has applied to this Board for a variance of the Bulk Area Requirements of the Code, and

WHEREAS, a public hearing on this application was held at 77 Main Street, Warwick, New York on 6/21/10 and continued on 10/18/10 and 12/22/10, and

WHEREAS, at said hearing(s) all interested persons were given an opportunity to be heard, the Board finds as follows:

FINDINGS OF FACT

1. Applicant is the owner of premises located at the corner of McEwen Street and Spring Street, Warwick, New York, designated on the Village tax map as Section 207 Block 5 Lot 35.

2. The application has been made for a variance of the Zoning Law allowing a 2 story addition to an existing commercial building, which addition will be 3.8 feet at its closest point to 1 side setback and 1.6 feet from the front line at its closest point.

3. An inspection of the site, and the evidence and testimony as summarized from the meeting(s) show that:

A. An undesirable change will not be produced in the character of the neighborhood and a detriment to nearby properties will not be created by the granting of the area variances. The setbacks are similar to those in the neighborhood. It may also be that a front setback is not needed because the front setback does not appear to be greater than the average setback of the 2 nearest neighboring structures located on the same side of the street within 150 feet of the applicant's building (Note 1, Table of Bulk Requirements).

B. The benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than the variances.

C. The requested variances are not substantial, although reduction of the side yard variance would appear to be numerically substantial.

D. The proposed variances will not have an adverse effect or impact upon the physical or the environmental conditions in the neighborhood or district.

E. The alleged difficulty was self-created.

F. These area variances should be granted based upon a consideration of the benefit to the applicant as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant.

G. The minimum variances necessary and adequate and at the same time, will preserve and protect the character of the neighborhood and the health, safety and welfare of the community have been requested.

4. The proposed action is an Unlisted action and will not result in any significant adverse environmental impact for the reasons hereinbefore set forth.

RESOLUTION

NOW, THEREFORE, BE IT RESOLVED, that it is determined, based on the information and analysis presented to the Board, that the proposed action will not result in any significant adverse environmental impact.

The foregoing resolution was submitted by John Prego and seconded by Wes Burley
For the Resolution Against the Resolution Abstaining Absent

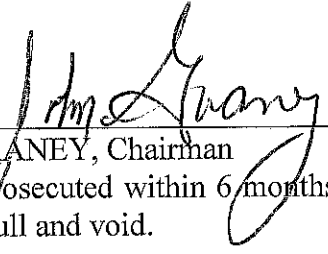
John Graney, Chairman	X			
John Prego	X			
Wes Burley	X			
Matthew Blaskovich				X
Daniel O'Leary	X			

NOW, THEREFORE, BE IT RESOLVED, that the application for a variance of the Bulk Area Requirements of the Code allowing a 2 story addition to an existing commercial building, which addition will be 3.8 feet at its closest point to 1 side setback and 1.6 feet from the front line at its closest point be granted.

The foregoing resolution was submitted by John Prego and seconded by John Graney
For Resolution Against Resolution Abstaining Absent

John Graney, Chairman	X			
John Prego	X			
Wes Burley	X			
Matthew Blaskovich				X
Daniel O'Leary	X			

Dated: Warwick, New York
December 22, 2010



JOHN GRANEY, Chairman

Unless construction is commenced and diligently prosecuted within 6 months of the date of the granting of a variance, such variance shall become null and void.

Construction cannot commence until a building permit is issued and Planning Board approval obtained.

PART II - IMPACT ASSESSMENT (To be completed by Lead Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? ☐ Yes ☒ No

If yes, coordinate the review process and use the FULL EAF.

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR declaration may be superseded by another involved agency. ☐ Yes ☒ No

UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic pattern, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:
No

C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:
No

C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:
No

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:
No

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:
No

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:
No

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:
None

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CRITICAL ENVIRONMENTAL AREA (CEA)? ☐ Yes ☒ No

If Yes, explain briefly:

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? ☐ Yes ☒ No

If Yes, explain briefly:

PART III - DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D of Part II was checked yes, the determination of significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

☒ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide, on attachments as necessary, the reasons supporting this determination.

Village of Warwick Zoning Board

John Graney Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Signature of Responsible Officer in Lead Agency

12/22/10 Date

Chairman

Title of Responsible Officer

Signature of Preparer (if different from responsible officer)

Resub

NEW APARTMENT FOR:
22 SPRING STREET
VILLAGE OF WARWICK, NY 10990

MINIMUM SPECIFICATIONS

GENERAL NOTES

- NO DRAWINGS ARE TO BE SCALED, USE DIMENSIONS ONLY.
- THE OWNER IS TO OBTAIN AND PAY FOR ALL LOCAL PERMITS, NO WORK IS TO COMMENCE UNTIL ALL PERMITS ARE OBTAINED.
- THE OWNER OR SITE ENGINEER MUST VERIFY THAT THE DWELLING IS NOT LOCATED IN A FLOODWAY AS DEPICTED IN THE LATEST TOWN PLAT MAP.
- THE CONTRACTOR IS TO VISIT THE SITE AND TO THOROUGHLY ACCOUNT HIMSELF WITH ALL EXISTING CONDITIONS, TO CHECK AND VERIFY ALL CONDITIONS PERTAINING TO THE PROJECT.
- THE CONTRACTOR SHALL REVIEW THE PLANS AND VERIFY ALL MATERIALS, DIMENSIONS AND CONDITIONS AND SHALL REPORT ANY ERRORS, OMISSIONS, VARIATIONS, DIFFERENCES OR DISCREPANCIES FROM INTENT OF THE PLANS TO THE ARCHITECT PRIOR TO THE START OF WORK.
- ALL CHANGES OR SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BEFORE BEING INCORPORATED INTO THE WORK.
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN, AND THE CONTRACTOR SHALL NOT AVOID HIMSELF OF ANY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST.
- ALL MATERIAL AND WORKMANSHIP IS TO BE GUARANTEED BY THE CONTRACTOR TO BE FREE OF DEFECTS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO CORRECT, WITHOUT CHARGE, SUCH CONDITIONS AS MAY OCCUR DURING THE GUARANTEE PERIOD.
- ALL WORK IS TO BE EXECUTED BY MECHANICS SKILLED IN THEIR TRADE.
- ALL TRADES TO COOPERATE WITH EACH OTHER TO FACILITATE THE PROGRESS OF THE ENTIRE JOB.
- CONTRACTOR IS TO PROTECT THE PUBLIC AND PREMISE DURING THE PERIOD OF THE CONSTRUCTION WITH ADEQUATE SHORING, BRACING, FENCING, LIGHTING, ETC.
- CONTRACTOR IS TO REMOVE ALL DEBRIS FROM THE SITE RESULTING FROM HIS WORK DURING THE PROCESS OF CONSTRUCTION AND SHALL LEAVE THE PREMISES IN A CONDITION SATISFACTORY TO THE OWNER PRIOR TO THE FINAL PAYMENT.
- THE ARCHITECT CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- IN THE EVENT OF CONFLICTS OF PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- ALL CONSTRUCTION IS TO CONFORM WITH APPLICABLE CODES, ORDINANCES, ETC., INCLUDING THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AND SHALL CONFORM TO GENERAL ACCEPTED STANDARDS.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE, NOR SHALL THEY BE IN EXCESS OF DESIGN LOADS INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY THE CONTRACTOR.
- THE ARCHITECT SHALL BE THE FINAL JUDGE OF THE QUALITY OF WORKMANSHIP, AND RESERVES THE RIGHT TO REJECT ANY WORK HE CONSIDERS DEFECTIVE.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUIVALENTS, WHICH MEET ACCEPTABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- ALL PLUMBING AND MECHANICAL WORK SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND LOCAL BUILDING CODES APPLICABLE TO PLUMBING AND MECHANICAL WORK. ALL PLUMBING AND MECHANICAL WORK SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.

- ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 2017 AND THE 2020 RESIDENTIAL CODE NEW YORK STATE & ANY OTHER LOCAL CODES OR ORDINANCES HAVING JURISDICTION. A LICENSED ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL WORK AND ALL PERMITS REQUIRED.
- THE CONTRACTORS SCHEDULE OF WORK SHALL BE ESTABLISHED IN COOPERATION WITH AND APPROVAL OF THE OWNER.
- THE CONTRACTOR SHALL CARRY A MINIMUM OF \$1,000,000.00 (ONE MILLION DOLLARS) LIABILITY INSURANCE AND PROVIDE WORKER'S COMPENSATION TO HIS EMPLOYEES.
- BUILDING STRUCTURES, AND ALL PARTS THEREOF SHOWN ON THESE PLANS HAVE BEEN DESIGNED TO SUPPORT ALL LOADS INCLUDING DEAD, LIVE, ROOF, SNOW, WIND, AND SEISMIC LOADS AS PRESCRIBED BY THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID ...
 - A. IF ALTERED
 - B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED
 - C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.

CONCRETE AND FOUNDATIONS

- ALL EXTERIOR WALL FOOTINGS SHALL EXTEND TO VIRGIN UNDISTURBED DRY SOIL, AND IN ALL CASES SHALL BE A MINIMUM OF 4'-0" BELOW THE ADJACENT GRADE.
- NO TREES OR HEAVY MACHINERY SHALL BE PERMITTED CLOSER THAN 6'-0" FROM ANY FOUNDATION WALL.
- LOAD BEARING CAPACITY OF THE SOIL IS ASSUMED TO BE 2000 PSF FOR FOOTING DESIGN, UNLESS OTHERWISE NOTED.
- THE SAFE SLOPE FROM VERTICAL TO 5 HORIZONTAL SHALL BE MAINTAINED BETWEEN THE EDGE OF FOOTING TO ANY EXCAVATION LEVEL LOWER THAN THE FOOTING.
- COORDINATE THE WALL AND ELEVATIONS OF ALL UNDERGROUND UTILITIES BEFORE PLACEMENT OF THE FOOTING.
- CONTINUOUS FOOTINGS WHERE SHOWN, MAY BE STEPPED AS REQUIRED, BUT NOT MORE THAN 1'-0" VERTICALLY TO 4'-0" HORIZONTALLY.

CONCRETE AND FOUNDATIONS CONTINUED

- CONCRETE SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT THE END OF 28 DAYS:

SLAB ON GRADE	3,500 PSI
FOOTINGS	3,500 PSI
FOUNDATION	3,500 PSI
MASONRY MORTAR	9,000 PSI TYPE 'M'
SEWERWALLS	4,000 PSI
- ALL CONCRETE WORK AND DETAILS SHALL CONFORM TO THE LATEST EDITION OF THE "BUILDING CODE" REQUIREMENTS FOR CONCRETE OF THE AMERICAN CONCRETE INSTITUTE (ACI 318-77).
- ALL FOUNDATION WALLS AND SLABS IN CONTACT WITH THE EARTH TO BE FURNISHED WITH AN "ANTI-HYDRO" ADHESIVE AS PER MANUFACTURER'S SPECIFICATIONS.
- MINIMUM CONCRETE PROTECTION OF REINFORCING SHALL BE 3/4" IN SLABS, 1 1/2" IN WALLS, 2" IN FOOTINGS AND 2" FOR CONCRETE WORK EXPOSED TO EARTH, FILL OR WEATHER.
- CONCRETE FOR SEWERWALLS, INTERIOR PARTS, STAIRS, ETC., SHALL BE 4,000 PSI STONE CONCRETE ENRICHED WITH 4% AIR MINIMUM.
- NO ADVERTISEMENTS ARE PERMITTED IN CONCRETE IF NOT PART OF THE MIX DESIGN.
- ALL SLABS ON GRADE ARE TO BE POURED IN PANELS NOT TO EXCEED 1,200 SQUARE FEET IN AREA.
- CONCRETE SHALL BE PROTECTED FROM FREEZING DURING COLD WEATHER PLACEMENT. LEAVE FORMS IN PLACE AT LEAST 5 DAYS WHEN OUTDOOR TEMPERATURE IS BELOW FREEZING. SEE FOLLOWING NOTES FOR REQUIRED ADAPTIVES.
- CONCRETE FOR BASEMENT WALLS, FOUNDATIONS, AND OTHER CONCRETE NOT EXPOSED TO WEATHER SHALL HAVE A MINIMUM COMP. STRENGTH OF 3500 PSI AT 28 DAY CURE. DURING COLD WEATHER PLACEMENT THE CONCRETE SHALL BE AIR ENTRAINMENT HAVING NOT LESS THAN 5% NOR MORE THAN 7% AIR CONTENT BY VOLUME OF CONCRETE.
- CONCRETE FOR BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT PROVIDE 3500 PSI CONCRETE WITH AIR ENTRAINMENT AS PER ABOVE.
- CONCRETE FOR BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT PROVIDE AIR ENTRAINMENT AS PER ABOVE.
- CONCRETE FOR PORCHES, STEPS, CARPORT AND GARAGE SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS. DURING COLD WEATHER PLACEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAY CURE AND BE AIR ENTRAINMENT AS MENTIONED ABOVE. THE MATERIALS FOR PROTECTING AND TESTING THE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 308.
- WIDTH AND THICKNESS OF FOOTINGS AND REINFORCING FOR SAME SHALL BE AS SHOWN ON DRAWINGS AND AS DETAILED THEREON. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE 2" FOR PILES, 3" FOR CONCRETE POURED ON GROUND AND 3/4" FOR CONCRETE NOT IN CONTACT WITH GROUND.
- FLOOR SLABS SHALL BE OF THICKNESS SHOWN ON DRAWINGS INSTALLED OVER COMPACTED FILL AND POLYETHYLENE VAPOR BARRIER AND REINFORCED WITH 6 X 6 X 10' / 10 WELDED WIRE MESH FABRIC AT MID-DEPTH OF SLAB, UNLESS SHOWN OTHERWISE. TAPER SLABS TO FLOOR DRAINS WHERE SHOWN AND REQUIRED.
- ALL CONCRETE SLABS SHALL BE PROVIDED WITH 1/2" PREMOISTENED PERIMETER ISOLATION JOINTS AND SAWCUT CONTRACTION JOINTS AT PATTERNS COMPATIBLE WITH INTERIOR COLUMN LOCATIONS. PATTERNS SHALL NOT EXCEED 20 FEET SQUARE.
- REINFORCING STEEL SHALL BE NEW BILLET STEEL, DEFORMED TYPE BARS, A.S.T.M. A615, GRADE 40, AND SHALL COMPLY WITH A.C.I. CODE REQUIREMENTS. PROVIDE MINIMUM REINFORCING IN ALL CONCRETE WHERE NONE IS SHOWN ON DRAWINGS TO MEET A.C.I. CODE REQUIREMENTS. PROVIDE ADDITIONAL REINFORCING AROUND ALL OPENINGS IN CONCRETE, AND PROVIDE VERTICAL AND / OR HORIZONTAL BARS PROJECTING FROM FOOTINGS AND WALLS FOR TYPING IN WITH OTHER WALLS, PILES, SLABS, ETC., AS DETAILED ON DRAWINGS AND AS REQUIRED BY THE CONSTRUCTION.
- DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL MASONRY CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO SUPPORT SAME. PROVIDE TEMPORARY BRACING AS REQUIRED AND PROTECT TOPS OF WALLS FROM DAMAGE BY VEHICLES CROSSING OVER SAME. REMOVE AND REPLACE ALL DAMAGED CONCRETE AS DIRECTED.
- ALL CONCRETE SLABS EXPOSED TO THE WEATHER CONDITIONS SHALL HAVE A NON-SKID SURFACE FINISH.
- PROVIDE 4" DRAIN PERFORATED FOOTING DRAIN AROUND ENTIRE PERIMETER OF FOUNDATION. INSTALL PIPES IN CURBED STONE BED EXTENDING A MINIMUM OF 12" BEYOND THE OUTSIDE EDGE OF THE FOOTING. SET PIPE ON A MINIMUM OF 2" THICK BED OF STONE AND COVER PIPE TO A MIN. HEIGHT OF 6" ABOVE THE TOP OF FOOTING. COVER ENTIRE ASSEMBLY WITH AN APPROVED FILTER MEMBRANE MATERIAL. DISCHARGE BY GRAVITY TO DRAINAGE.

REINFORCING

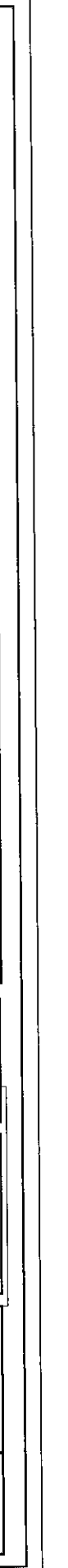
- ALL REINFORCING STEEL SHALL BE DEFORMED BARS OF NEW BILLET STEEL, CONFORMING TO THE REQUIREMENTS ASTM A-615, Grade 60.
- ALL WELDED WIRE MESH SHALL BE FABRICATED IN ACCORDANCE WITH ASTM A-82 AND A-185.
- WHERE OPENINGS OCCUR IN WALLS OR SLABS, UNLESS SHOWN OTHERWISE, PROVIDE TWO (2) NO. 6 BARS, BOTH FACES ON ALL SIDES OF OPENING AND EXTEND 2'-0" BEYOND THE FACE OF THE OPENING.

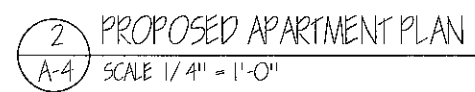
CONCRETE MASONRY UNITS

- ALL CONCRETE BLOCK IS TO BE REINFORCED WITH DUB-O-WALL TRUSS TYPE STANDARD WEIGHT MASONRY REINFORCING AS FOLLOWS: BELOW GRADE EVERY OTHER COURSE, TOP TWO (2) COURSES, ABOVE GRADE EVERY 9RD AND TOP TWO (2) COURSES. PROVIDE PRECASTED CORNERS AND TEES OVERLAY A MINIMUM OF 24".
- MORTAR: ASTM C-270 TYPE 'M'
- CONCRETE BLOCK: HOLLOW CORE, LOADED DRAWING UNIT MASONRY ASTM C-90, TYPE 'H', CEMENT GRADE: ASTM C-476
- FILL ALL BEAM POCKETS SOLID AFTER STEEL IS PLACED AND ANCHORED.
- ALL CONCRETE BLOCK CORERS WITH VERTICAL REINFORCING ARE TO BE GROUPED SOLID FROM FOOTING TO TOP OF WALL. OVERLAP ALL REINFORCING A MINIMUM OF 12".

WOOD AND TRUSSES

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE TO NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND IS FASTENING BY THE APA. USE CONSTRUCTION DETAILS AND MINIMUM NAILING SEQUENCE AS REQUIRED BY THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- ALL STRUCTURAL LUMBER SHALL CONFORM TO THE FOLLOWING MINIMUM STRENGTH REQUIREMENTS: BEAMS, JOISTS AND WALL PLATES 1200 PSI, 2X4, 2X6, 2X8, 2X10, 2X12, 4X4, 4X6, 4X8, 4X10, 4X12, 6X6, 6X8, 6X10, 6X12, 8X8, 8X10, 8X12, 10X10, 10X12, 12X12, 12X14, 12X16, 12X18, 12X20, 12X22, 12X24, 12X26, 12X28, 12X30, 12X32, 12X34, 12X36, 12X38, 12X40, 12X42, 12X44, 12X46, 12X48, 12X50, 12X52, 12X54, 12X56, 12X58, 12X60, 12X62, 12X64, 12X66, 12X68, 12X70, 12X72, 12X74, 12X76, 12X78, 12X80, 12X82, 12X84, 12X86, 12X88, 12X90, 12X92, 12X94, 12X96, 12X98, 12X100, 12X102, 12X104, 12X106, 12X108, 12X110, 12X112, 12X114, 12X116, 12X118, 12X120, 12X122, 12X124, 12X126, 12X128, 12X130, 12X132, 12X134, 12X136, 12X138, 12X140, 12X142, 12X144, 12X146, 12X148, 12X150, 12X152, 12X154, 12X156, 12X158, 12X160, 12X162, 12X164, 12X166, 12X168, 12X170, 12X172, 12X174, 12X176, 12X178, 12X180, 12X182, 12X184, 12X186, 12X188, 12X190, 12X192, 12X194, 12X196, 12X198, 12X200, 12X202, 12X204, 12X206, 12X208, 12X210, 12X212, 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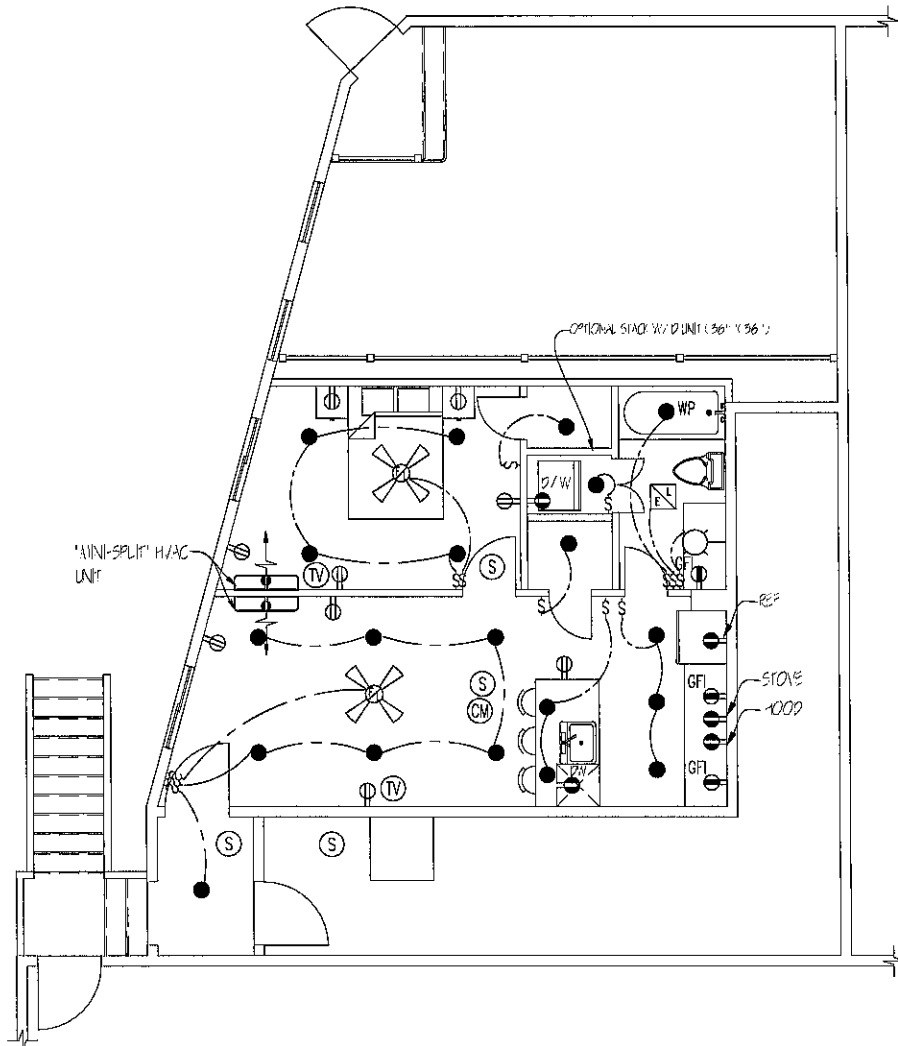




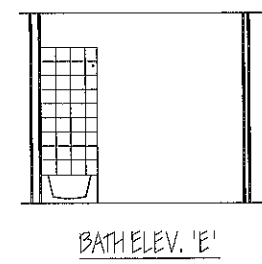
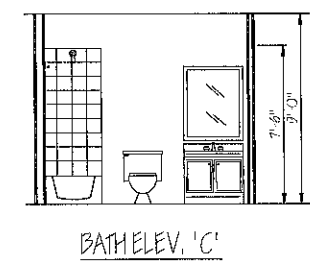
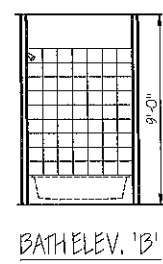
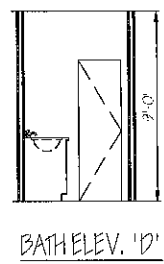
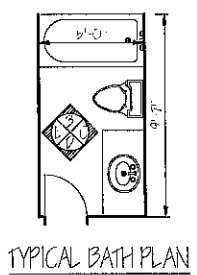
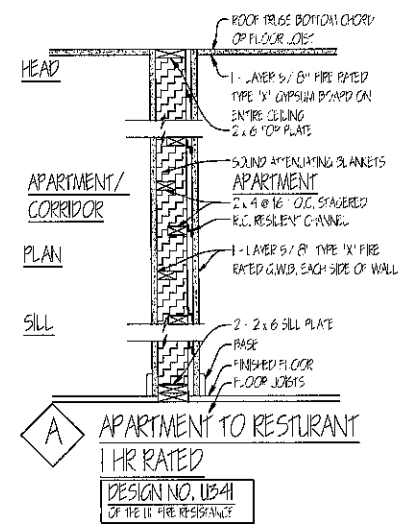
SQUARE FOOTAGE	
APARTMENT	520 SQ. FT.

SQUARE FOOTAGE	
APARTMENT	520 SQ. FT.

A-3



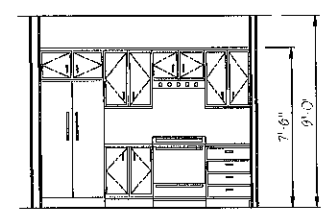
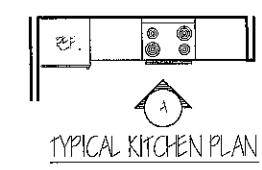
1
E-1 PROPOSED APARTMENT ELECTRIC PLAN
SCALE 3/16" = 1'-0"



3
A-5 TYPICAL BATH DETAILS
SCALE: 1/4" = 1'-0"

SYMBOLS	
	DUPLEX OUTLET
	WEATHER PROOF BOX (G.F.I. OUTLET)
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	SINGLE - POLE TOGGLE SWITCH
	THREE - WAY SWITCH
	RECESSED LIGHT FIXTURE (HIGH-HAT)
	CEILING MOUNTED LIGHT FIXTURE
	WALL MOUNTED LIGHT FIXTURE
	2-BULB 4'-0" x 4'-0" FLUORESCENT CEILING MOUNTED FIXTURE
	CEILING MOUNTED LIGHT FAN FIXTURE

ELECTRICAL NOTES			
1) ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE - 2017 EDITION AND ALL OTHER APPLICABLE CODES, RULES AND REGULATIONS. ANY LABOR, MATERIALS AND EQUIPMENT NECESSARY TO NON-CONFORMANCE WITH THE ABOVE SHALL BE FURNISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.	2) ALL LIGHTING FIXTURES SHALL BE COMPLETELY WARMED AND OPERABLE.	3) ALL EQUIPMENT SHALL BE UL LISTED AND LABELED.	4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES & INSPECTIONS. BEFORE POWER IS APPLIED, THE CONTRACTOR SHALL OBTAIN APPROVAL OF ALL REGULATORY AGENCIES HAVING JURISDICTION AND SHALL FURNISH WRITTEN PROOF OF SAME TO THE OWNER.
5) ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.	6) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTACTS AND CONNECTIONS WITH THE ELECTRICAL UTILITY COMPANY. ANY AND ALL FEES REQUIRED BY THE ELECTRICAL COMPANY SHALL BE BORNE BY THE CONTRACTOR.	7) LOCATIONS OF EQUIPMENT SHOWN ON THE DRAWINGS SHALL BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION WITH THE OWNER IN THE FIELD PRIOR TO INSTALLATION OF THE EQUIPMENT OR WIRING.	8) ALL WIRING SHALL BE COVERED AND SHALL BE A MINIMUM OF 1/2" O.C. UNLESS OTHERWISE NOTED. ALL WIRING SHALL BE POWER.
9) CONDUIT SHALL BE RIGID OR FLEXIBLE WITH SLEEVES WHERE INSTALLED UNDERGROUND OR UNDER THE SLAB. CONDUIT IN SOME AREAS MAY BE PLAT ABOVE PERMITTED BY CODE.	10) CONDUIT AND CABLE SHALL BE RUN PARALLEL OR PERPENDICULAR TO BUILDING STRUCTURES AND SHALL BE SECURELY TIED OR SUPPORTED FROM THE BUILDING STRUCTURE WITH MINIMUM CLEARANCE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.	11) ALL ELECTRICAL WORK IN FINISHED AREAS SHALL BE RUN CONCEALED WITH A 1" RECEPTACLE, SWITCHES AND LAMP HODS INSTALLED PLUSH.	12) ALL WIRING FOR TV, 3 PHONES SHALL BE AS PER BULDER STANDARDS.
13) ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.	14) WHERE WIRING IS TO BE INSTALLED CONCEALED IN FRAME WALLS OR ABOVE CEILING, WIRING IN CONDUIT SHALL BE 1/2" OR THIN COPPER OR AS SHOWN ON DRAWINGS.	15) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING NECESSARY FOR THE INSTALLATION OF ELECTRICAL WORK. NO CUTTING SHALL BE DONE WITHOUT PRIOR ACCEPTANCE OF THE OWNER.	16) ALL LIGHTING AND RECEPTACLES ARE TO BE PROTECTED WITH AFCI "ALL" PROTECTED BREAKERS.
17) CONNECT ALL CIRCUITS SO THAT THE LOAD ON ANY CIRCUIT DOES NOT EXCEED 80% OF THE RATING OF THE CIRCUIT PER THE NATIONAL ELECTRICAL CODE.	18) A 1" SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR TO BE HARD WIRED AND INTERCONNECTED AND HAVE BATTERY BACKUP. INST. AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. (S) (M)		



2
A-5 TYPICAL KITCHEN DETAILS
SCALE: 1/4" = 1'-0"

PRELIMINARY - MAY 31, 2024
RELEASED FOR CONSTRUCTION - JUNE 15, 2025

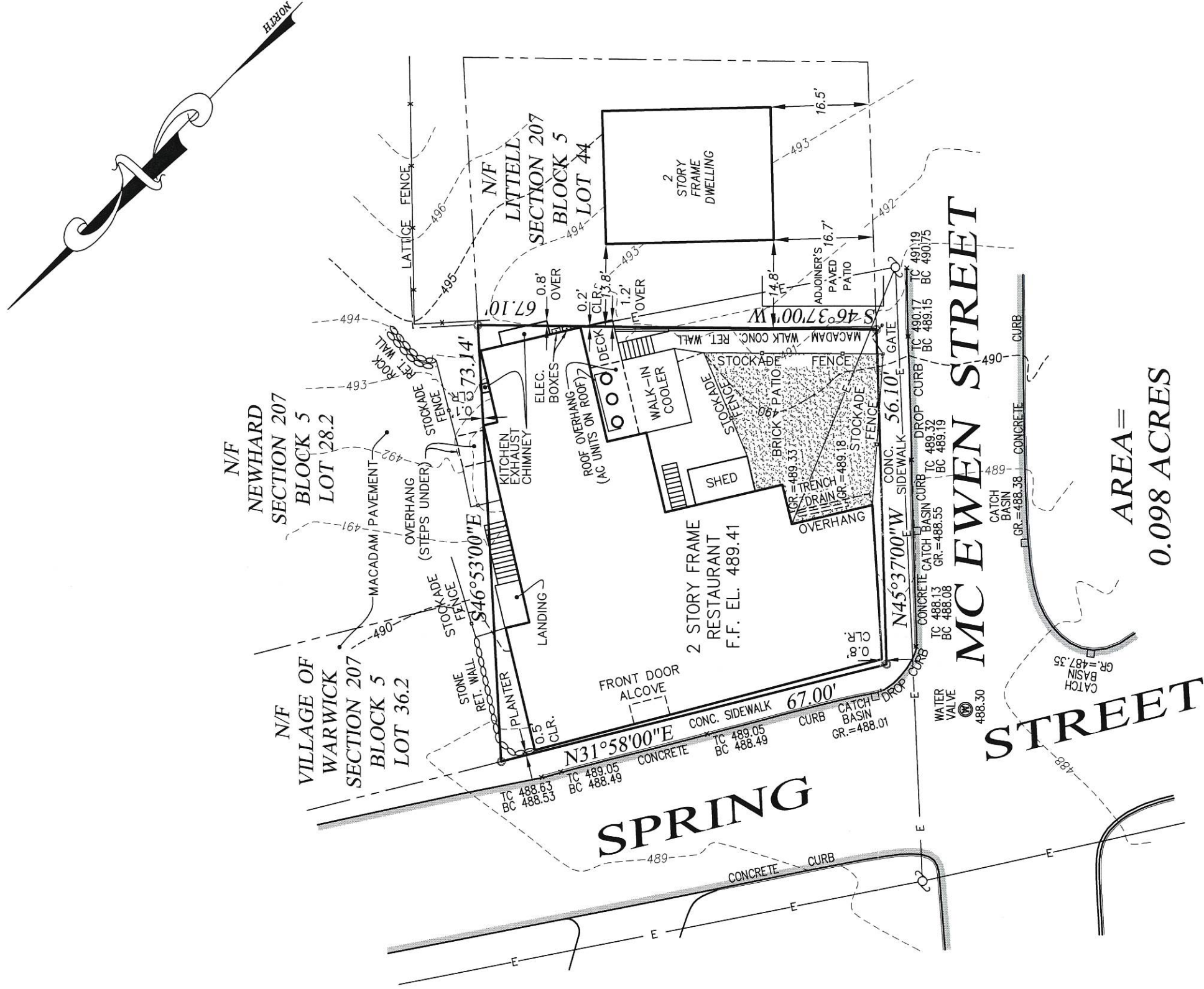
IRACE ARCHITECTURE
15 ELM STREET
WARWICK, NEW YORK 10990
P-845-988-0198
F-845-988-0298

NEW APARTMENT FOR:
22 SPRING STREET
22 SPRING STREET, VILLAGE OF WARWICK, NY
FIRST FLOOR PLAN

IF A MODIFICATION OR CHANGE IS REQUIRED, IT SHALL BE APPROVED BY A LICENSED PROFESSIONAL ARCHITECT. ALL CHANGES SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE CONTRACTOR SHALL FURNISH WRITTEN PROOF OF SAME TO THE OWNER.

REGISTERED ARCHITECT
STATE OF NEW YORK
EXP. DATE: 1-31-2027

DATE: 2405031
BY: KMRI
DATE: JUNE 15 2025
SCALE: 1/4" = 1'-0"
A-4



AREA=
0.098 ACRES

BOUNDARY AND TOPOGRAPHIC
SURVEY OF PROPERTY
FOR

22 SPRING STREET LLC

VILLAGE OF WARWICK
ORANGE CO., N.Y.

SCALE: 1"=20'

DATE: FEBRUARY 8, 2010



TAX MAP:

SECTION 207
BLOCK 5
LOT 35

GENERAL NOTES:

1. SUBJECT TO ANY EASEMENTS OF RECORD.
2. SUBJECT TO THE FINDINGS OF AN UP TO DATE TITLE SEARCH.

DEED REFERENCE:

LIBER 12490 PAGE 549

CERTIFIED TO:

-22 SPRING STREET LLC
-EMIGRANT FUNDING CORPORATION
ITS SUCCESSORS AND/OR ASSIGNS.
-FIRST AMERICAN TITLE INSURANCE COMPANY.

REVISED:

NOV. 18, 2010: CERTIFICATIONS
MAY 17, 2011: ADJ. BLDG OFFSETS

PROJECT No. 10-106

SCHMICK SURVEYING, INC.
PROFESSIONAL LAND SURVEYING
25 RAILROAD AVENUE
WARWICK, NEW YORK 10990