

LEGEND	
EXISTING PROPERTY LINE	---
EXISTING 10' CONTOUR LINE	---
EXISTING 2' CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
EXISTING EDGE OF PAVEMENT	---
EXISTING STONEWALL	---
EXISTING FENCE	---
EXISTING OVER HEAD UTILITIES	---
PROPOSED EDGE OF PAVEMENT	---
PROPOSED CONC. CURB	---
BUILDING SETBACK LINE	---
EXISTING EASEMENT LINE	---

SHEET INDEX	
SHEET #1	- SITE PLAN
SHEET #2	- GRADING & UTILITY PLAN
SHEET #3	- LIGHTING PLAN
SHEET #4	- EROSION CONTROL PLAN
SHEET #5	- DRAINAGE & SANITARY DETAILS
SHEET #6	- SITE DETAILS

RECORD OWNER / APPLICANT
13 FORESTER LLC
P.O. BOX 600
WARWICK, NY 10990

BULK REQUIREMENTS LI ZONE USE GROUP k***

	MIN. REQUIRED	PROPOSED
LOT AREA (SF)**	5,000	47,361±
LOT WIDTH (FT.)	50	202±
FRONT SETBACK (SF.)	NOTE 1*	10±
FRONT YARD (FT.)	N/A	N/A
SIDE SETBACK (FT.)	10	17±
TOTAL SIDE SETBACK (FT.)	10	52±
SIDE YARD (FT.)	10	10
SIDE YARD WITHIN 25' OF RESIDENCE DISTRICT BOUNDARY	N/A	N/A
REAR SETBACK (FT.)	10	15±
REAR YARD (FT.)	10	10±
REAR YARD WITHIN 25' OF RESIDENCE DISTRICT BOUNDARY	N/A	N/A
STREET FRONTAGE (FT.)	50	474±
FLOOR AREA RATIO (F.A.R.)	N/A	N/A
LOT DEPTH (FT.)	50	250±
LIVABLE FLOOR AREA/ DWELLING UNIT (SF.)	N/A	N/A
LOT AREA/ DWELLING UNIT	N/A	N/A
DWELLING UNIT (SF)**	N/A	N/A
BEDROOMS/ACRE OF LOT AREA	N/A	N/A

	MAX. ALLOWED	PROPOSED
DEVELOPMENT COVERAGE (%)**	100	<100
BUILDING COVERAGE (%)**	N/A	17±
BUILDING HEIGHT (FT.)	40	<40

*NOTE 1 - THE REQUIRED FRONT SETBACK NEED NOT BE GREATER THAN THE AVERAGE OF THE NEAREST NEIGHBORING STRUCTURES LOCATED ON THE SAME SIDE OF THE STREET WITHIN 150 FEET OF THE PROPOSED BUILDING.
**NOTE 4 - LOT AREA SHALL BE DEFINED IN § 145-181 FOR COLUMNS 2, 15, 15A, 19 AND 20 PER LOCAL LAW #1 OF 2001.
***NOTE 6 - 100% DEVELOPMENT COVERAGE PERMITTED ONLY WHEN PROJECT INCORPORATES A "GREEN ROOF".

PARKING CALCULATION

FOOD & DRINK ESTABLISHMENT 12 SPACES PER 1,000 S.F. BLDG. AREA
RETAIL 3.33 SPACES PER 1,000 S.F. BLDG. AREA
3,000 S.F. FOOD & DRINK ESTABLISHMENT (3,000 S.F. / 1,000 S.F.) x 12 = 36 SPACES
5,000 S.F. RETAIL (5,000 S.F. / 1,000 S.F.) x 3.33 = 17 SPACES
TOTAL SPACES REQUIRED = 53 SPACES
TOTAL SPACES PROVIDED = 54 SPACES



LOCATION MAP
SCALE: 1" = 100'

VILLAGE OF WARWICK COMPREHENSIVE PLAN

LAND USE	COMMERCIAL
ZONING DISTRICTS	LI
HISTORIC DISTRICT	NO
AQUIFERS	NO
RESERVOIRS	NO
FLOOD PLAINS	NO
WETLANDS	NO
SPECIAL PLACES	NO
UNDEVELOPED LANDS	NO

GENERAL NOTES:

- VILLAGE OF WARWICK TAX MAP DESIGNATION: SEC. 208, BLK. 2, LOT 1.2.
- TOTAL AREA OF PARCEL: 47,361 S.F. PER SURVEY.
- ENTIRE PARCEL IS LOCATED IN THE LI ZONING DISTRICT.
- BOUNDARY INFORMATION FROM MAP ENTITLED "SURVEY, SITE PLAN AND TOPOGRAPHY PREPARED FOR: WARWICK VALLEY 13 FORESTER, LLC" PREPARED BY: STEPHEN M. BRYK, PROFESSIONAL LAND SURVEYOR.
- PROPOSED BUILDING TO BE SERVICED BY MUNICIPAL WATER AND SEWER.

13 FORESTER, LLC

SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK

PROJECT TITLE

SITE PLAN

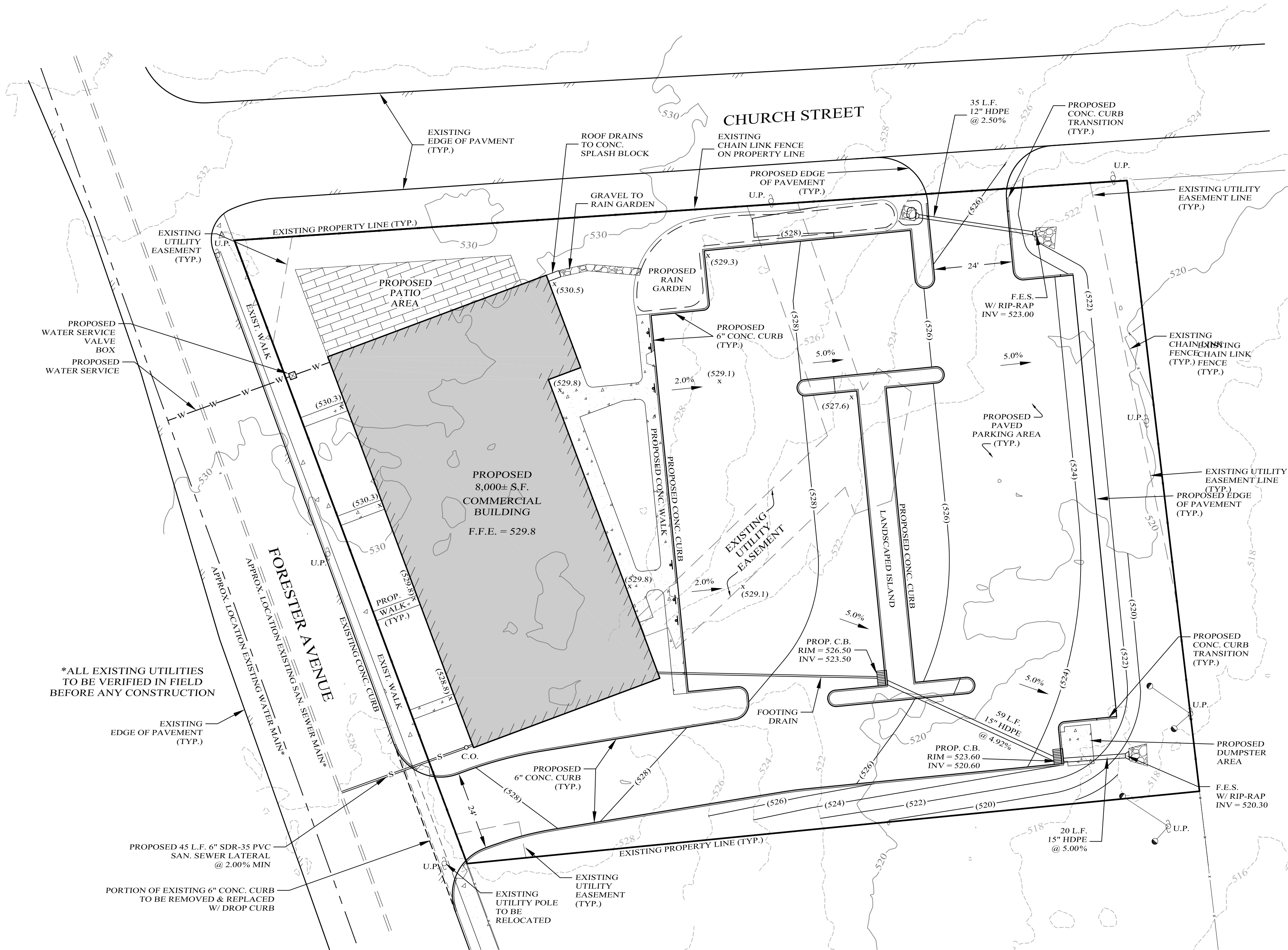
DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC

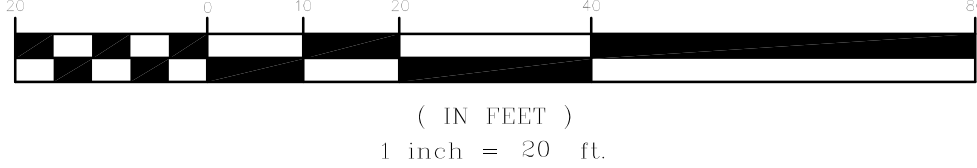
5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

DATE	INITIAL PREPARATION
04-25-22	INITIAL PREPARATION

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.	D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
	N.A.	N.A.	N.A.	1 OF 6
	20142SP	20142.0	AS NOTED	



PLAN
GRAPHIC SCALE



LEGEND

EXISTING PROPERTY LINE	---
EXISTING 10' CONTOUR LINE	---
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EXISTING EDGE OF PAVEMENT	---
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PROPOSED EDGE OF PAVEMENT	---
PROPOSED CONC. CURB	---
BUILDING SETBACK LINE	---
EXISTING EASEMENT LINE	---

13 FORESTER, LLC

SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK

GRADING & UTILITY
PLAN

DRAWING TITLE

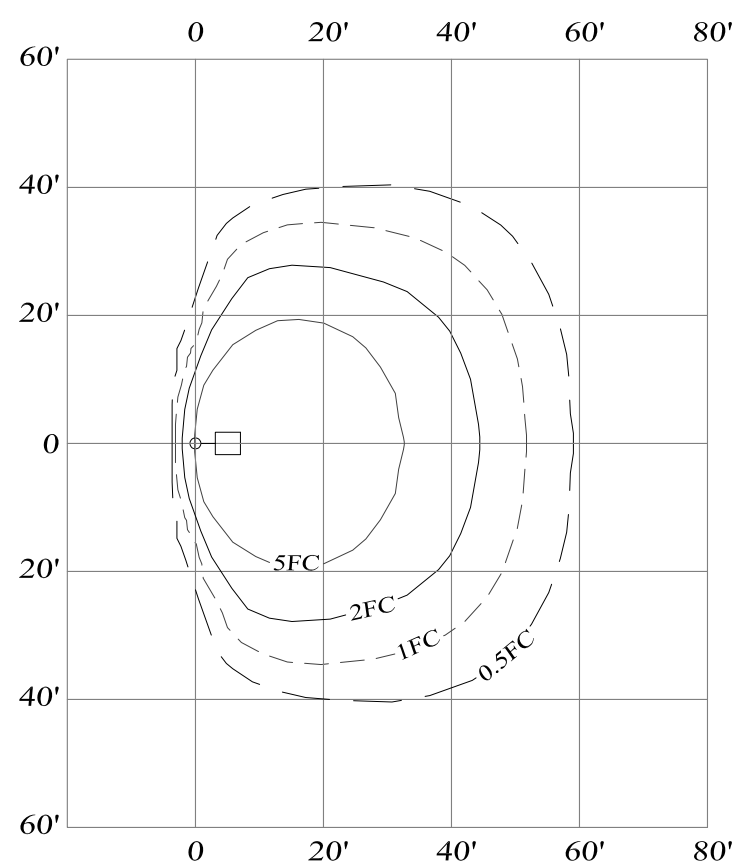
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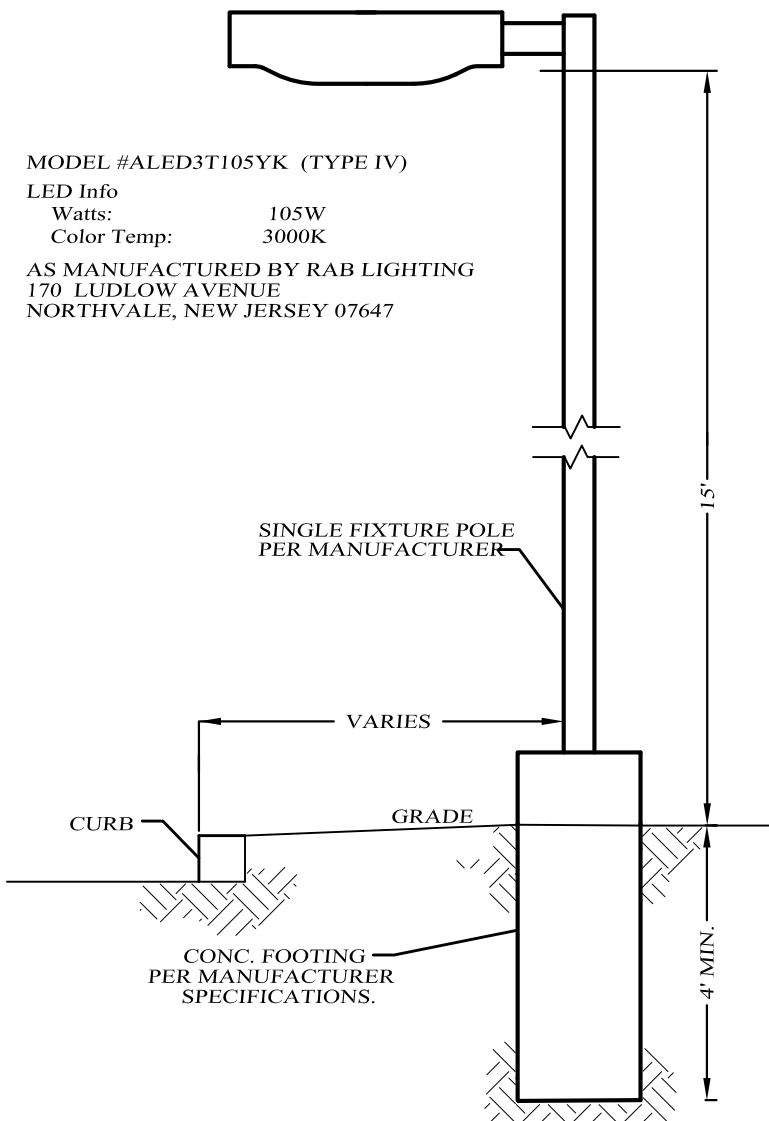
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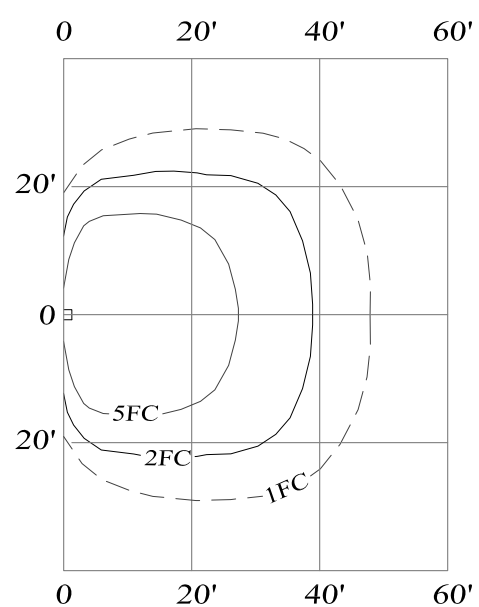
D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	2 OF 6
CAD #	PROJECT #	SCALE	
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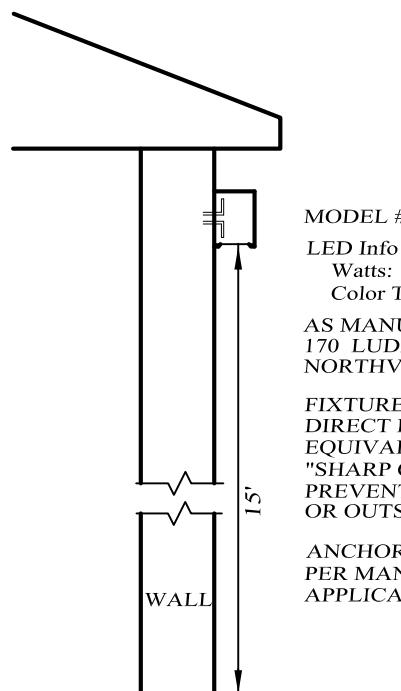
POLE MOUNTED LIGHT 15' HIGH
ISOMETRIC FOOTPRINT
MODEL #ALED3T105YK (TYPE IV)
AS MANUFACTURED BY RAB LIGHTING, INC



NOTES:
1. ALL ELECTRICAL COMPONENTS TO BE AS SPECIFIED BY MANUFACTURER AND
INSTALLED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.
POLE MOUNTED SINGLE LIGHT DETAIL
NOT TO SCALE

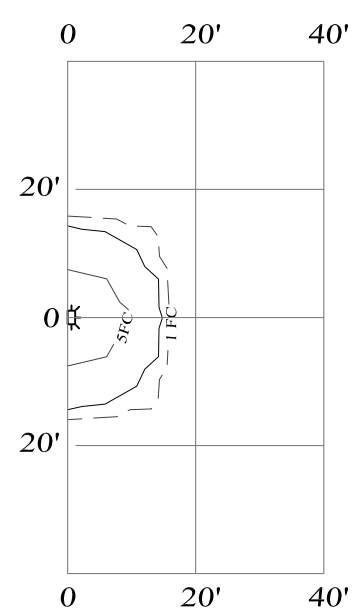


WALL MOUNTED LIGHT 15' HIGH
ISOMETRIC FOOTPRINT
MODEL #WPLED104Y
AS MANUFACTURED BY RAB LIGHTING, INC

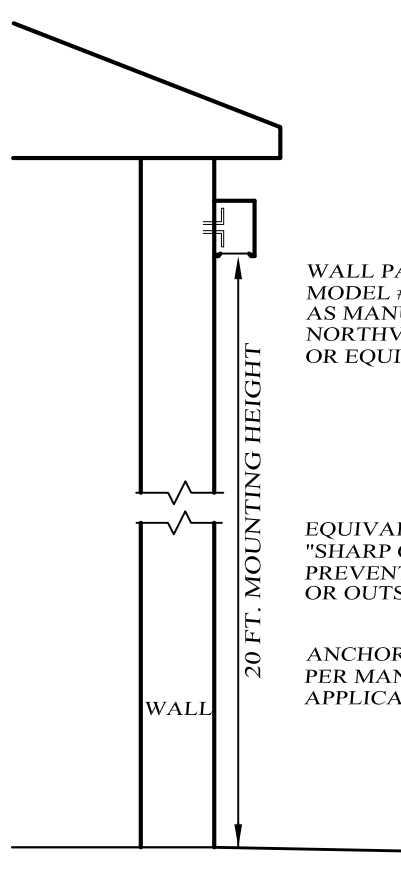


WALL MOUNTED LIGHT DETAIL
NOT TO SCALE

- LIGHTING NOTES:**
1. LIGHTING TO PROVIDE AN AVERAGE 1.0 FOOT-CANDLE LUMINESCENCE IN ALL PEDESTRIAN AREAS
 2. THERE SHALL BE NO SPILL OVER OF GLARE OUTSIDE PROPERTY LINE. FIXTURES SHALL BE EQUIPPED WITH "HOUSE SIDE SHIELDS" TO ESTABLISH A SHARP CUTOFF OF LIGHT BEHIND THE PROPOSED FIXTURE.



WALL MOUNTED LIGHT 15' HIGH
ISOMETRIC FOOTPRINT
MODEL #MODEL # SLIM 37N
AS MANUFACTURED BY RAB LIGHTING, INC

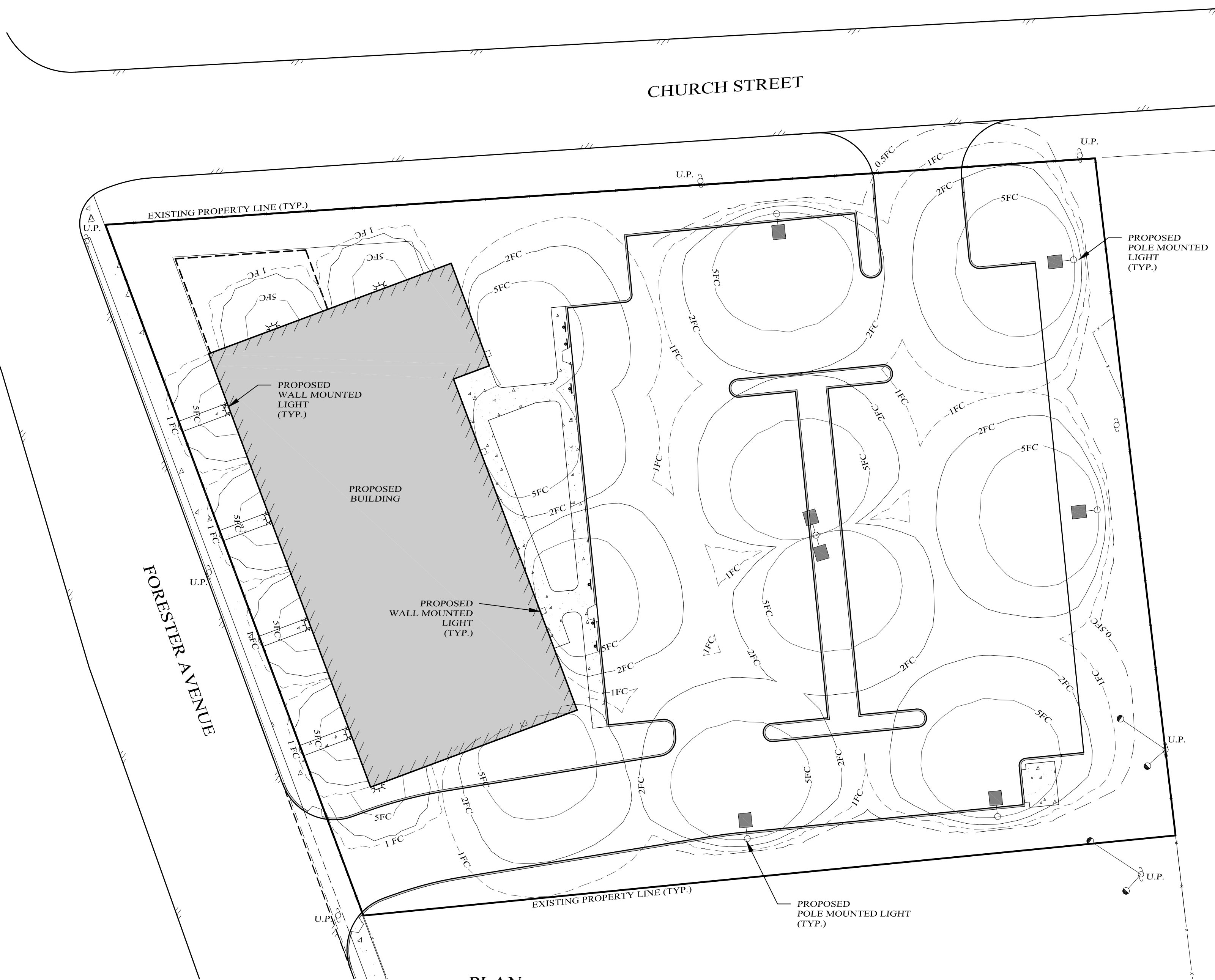


1. ALL ELECTRICAL COMPONENTS TO BE AS SPECIFIED BY MANUFACTURER AND
INSTALLED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.
2. REFER TO LIGHTING PLAN FOR FIXTURE LOCATIONS.

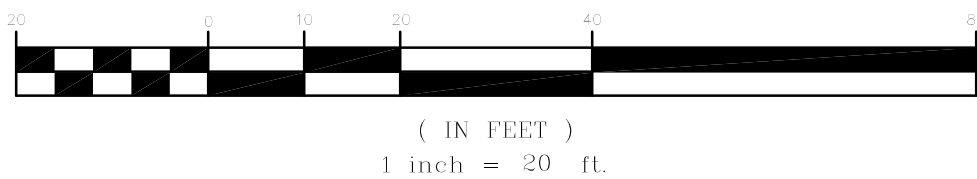
WALL MOUNTED LIGHT DETAIL
NOT TO SCALE

LEGEND

EXISTING PROPERTY LINE	=====
EXISTING EDGE OF PAVEMENT	=====
PROPOSED EDGE OF PAVEMENT	=====
PROPOSED CONC. CURB	=====



PLAN
GRAPHIC SCALE



13 FORESTER, LLC

SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK

PROJECT TITLE

LIGHTING
PLAN

DRAWING TITLE

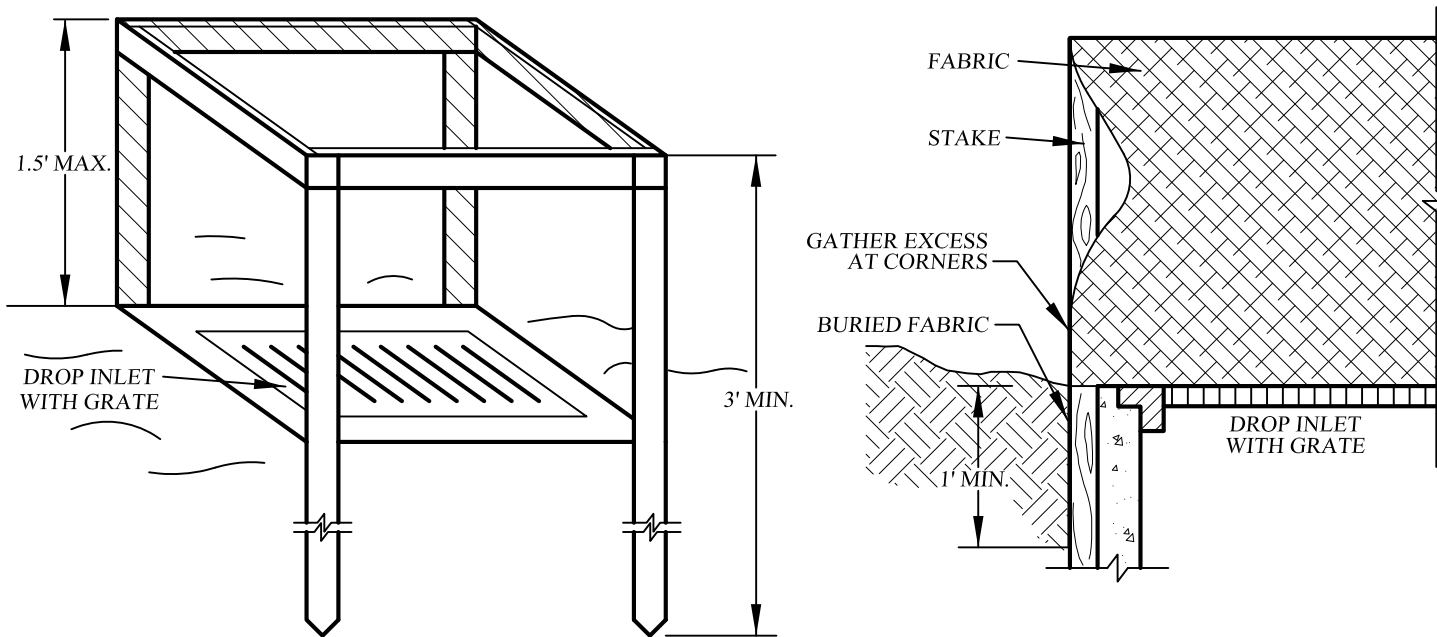
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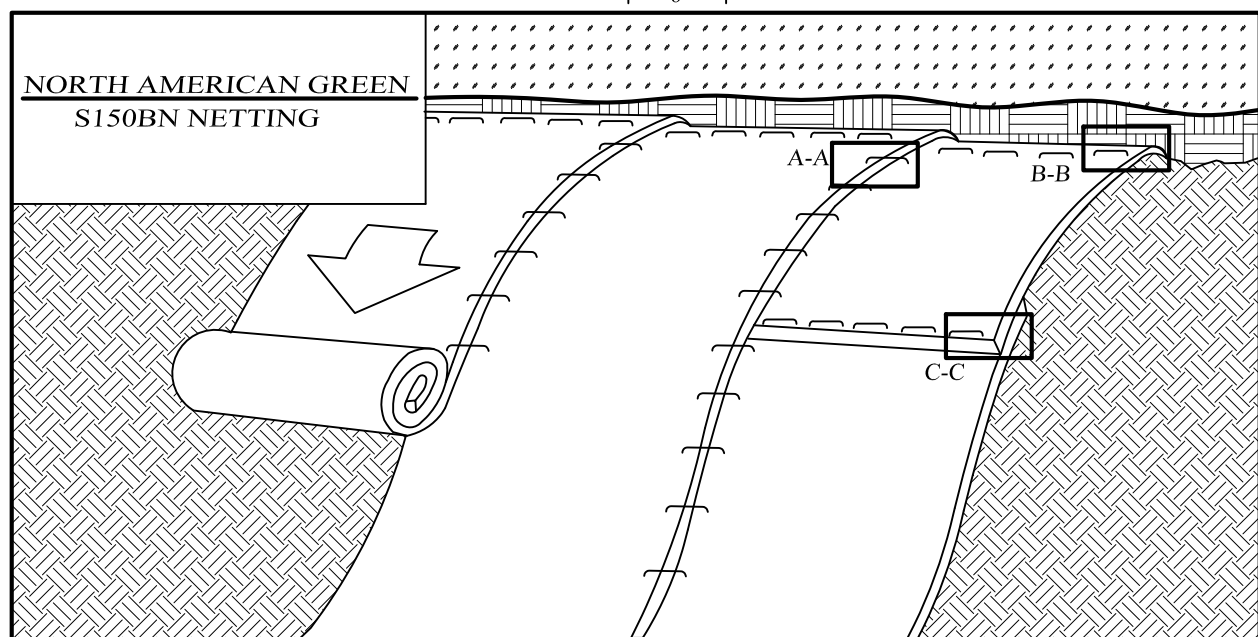
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N.A.	N.A.	N.A.	3 OF 6
CAD #	PROJECT #	SCALE	
20142SP	20142.0	AS NOTED	



1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY SHALL BE MADE IN THE NEXT TO LAST STRIP.
3. STAKE MATERIALS WILL BE STANDARD 2" X 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. STAKE MATERIALS EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18" DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FILTER FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. 6" X 6" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STAKES.

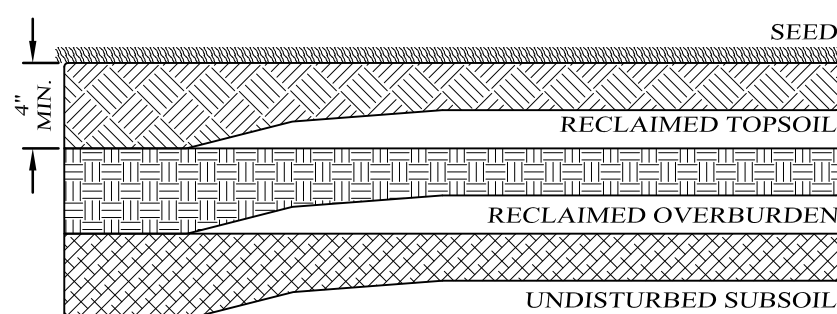


1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: THE RECP IS NOT A SEED SOURCE. THE RECP CELL-OR-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE ADDED PRIOR TO STABILIZATION.
2. UNROLL THE RECP (A) TOP SIDE DOWN, WITH THE 12" (30 CM) (A) 15" (38 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) APART FROM EACH OTHER. THE RECP SHALL BE UNROLLED WITH THE TRENCH SIDE DOWN. SECURE THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER THE RECP IS STAPLED/STAKED. THE RECP SHALL BE UNROLLED WITH THE TRENCH SIDE DOWN. SECURE THE RECPs BACK OVER SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE.
3. ROLL THE RECP(S) (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs MUST BE UNROLLED WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. RECPs MUST BE UNROLLED WITH THE TRENCH SIDE DOWN. SECURE THE RECPs WITH STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STATE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED AT THE THREE (3) LOCATIONS OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES ON PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2" (5 CM) APART.
5. CONSECUTIVE RECPs SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) APART. STAPLE THE EDGES ON PARALLEL RECPs WITH APPROXIMATELY 12" (30 CM) APART. SECURE ENTIRE RECPs WIDTH.

SLOPES OF 4:1 OR GREATER (HORIZONTAL:VERTICAL)
SLOPES SHALL BE HYDROSEEDED WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE. STRAW OR HAY MULCH SHALL BE ANCHORED WITH BioD-Mesh60 NETTING AS MANUFACTURED BY RoLANKA INTERNATIONAL OR APPROVED EQUIVALENT. NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

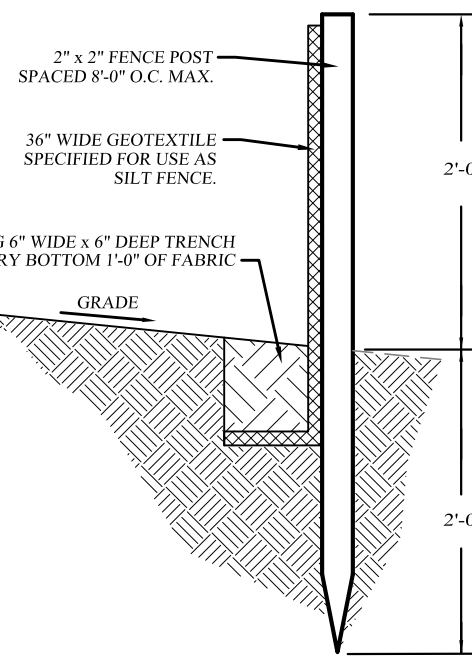
AREAS SHALL BE SEED BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDED AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS/ACRE. BROADCAST AREAS SHALL MULCHED WITH HAY OR STRAW AT A RATE OF 2 TONS/ACRE. AREAS SEED BY BROADCASTING SHALL BE LIGHTLY RAKED AND PACKED PRIOR TO PLACING MULCH.

EXISTING PROPERTY LINE _____
 EXISTING 10' CONTOUR LINE _____
 EXISTING 2' CONTOUR LINE - - - - -
 PROPOSED CONTOUR LINE _____ (520) _____
 EXISTING EDGE OF PAVEMENT _____
 EXISTING STONEWALL _____
 EXISTING FENCE _____
 EXISTING OVER HEAD UTILITIES _____
 PROPOSED EDGE OF PAVEMENT _____
 PROPOSED CONC. CURB _____
 BUILDING SETBACK LINE _____
 EXISTING EASEMENT LINE _____

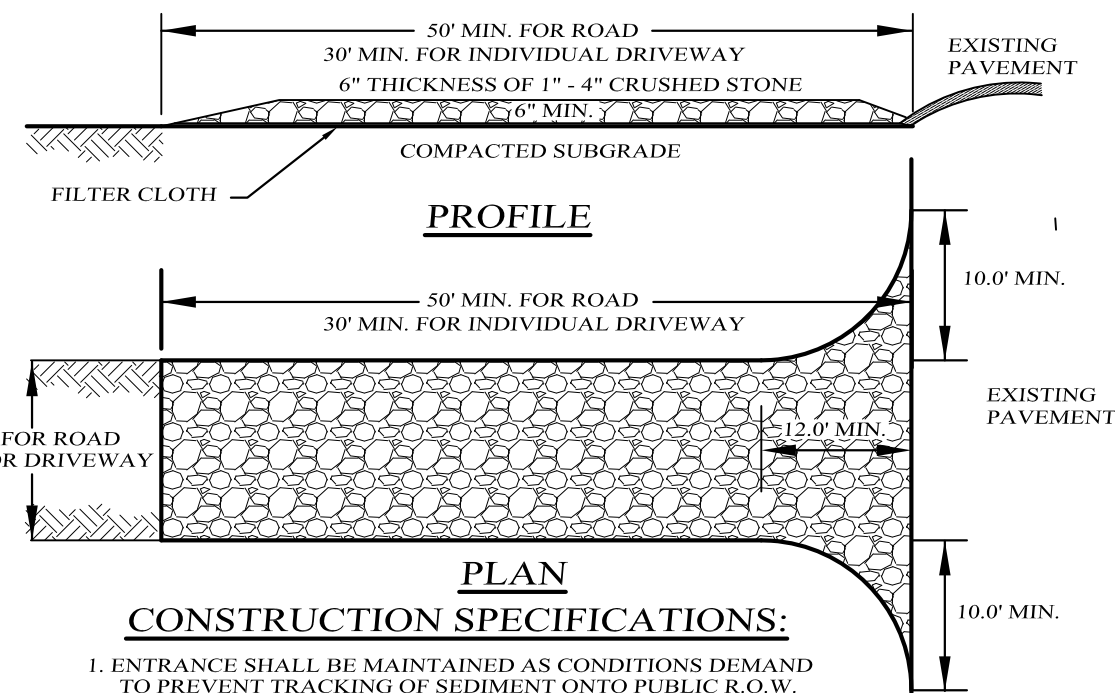


NOT TO SCALE

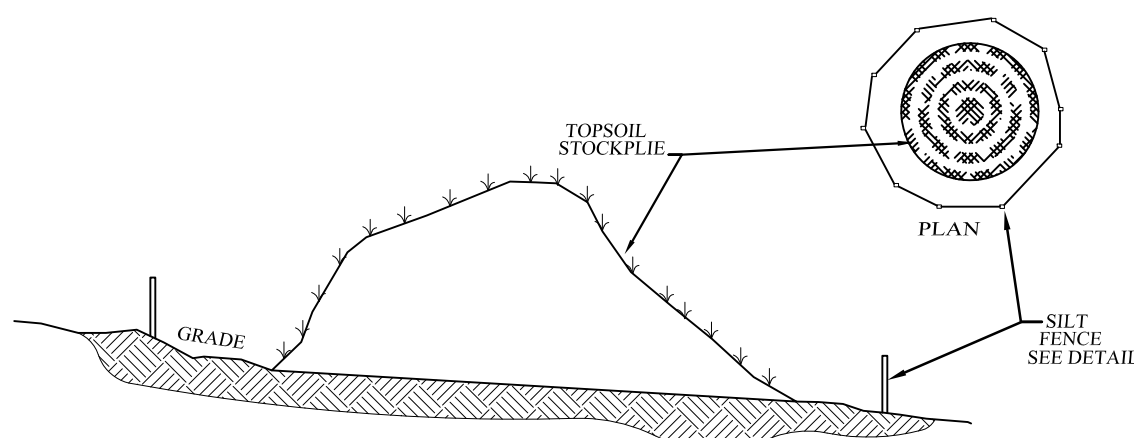
FENCE PROPERTIES	MINIMUM VALUE	STANDARD
GRAB TENSILE STRENGTH (LBS)	90	ASTMD 1682
ELONGATION AT FAILURE(%)	50	ASTM D1682
MULEN BURST STRENGTH (PSI)	190	ASTM D3786
PUNCTURE FLOW RATE (LBS)	40	ASTM D751 (MODIFIED)
SURRY FLOW RATE (GAL/MIN/SF)	0.3	
EQUIVLENT OPENING SIZE	40-80	US STD SIEVE CW-02215
ULTRAVIOLET RADIATION STABILITY (%)	90	ASTM G-26



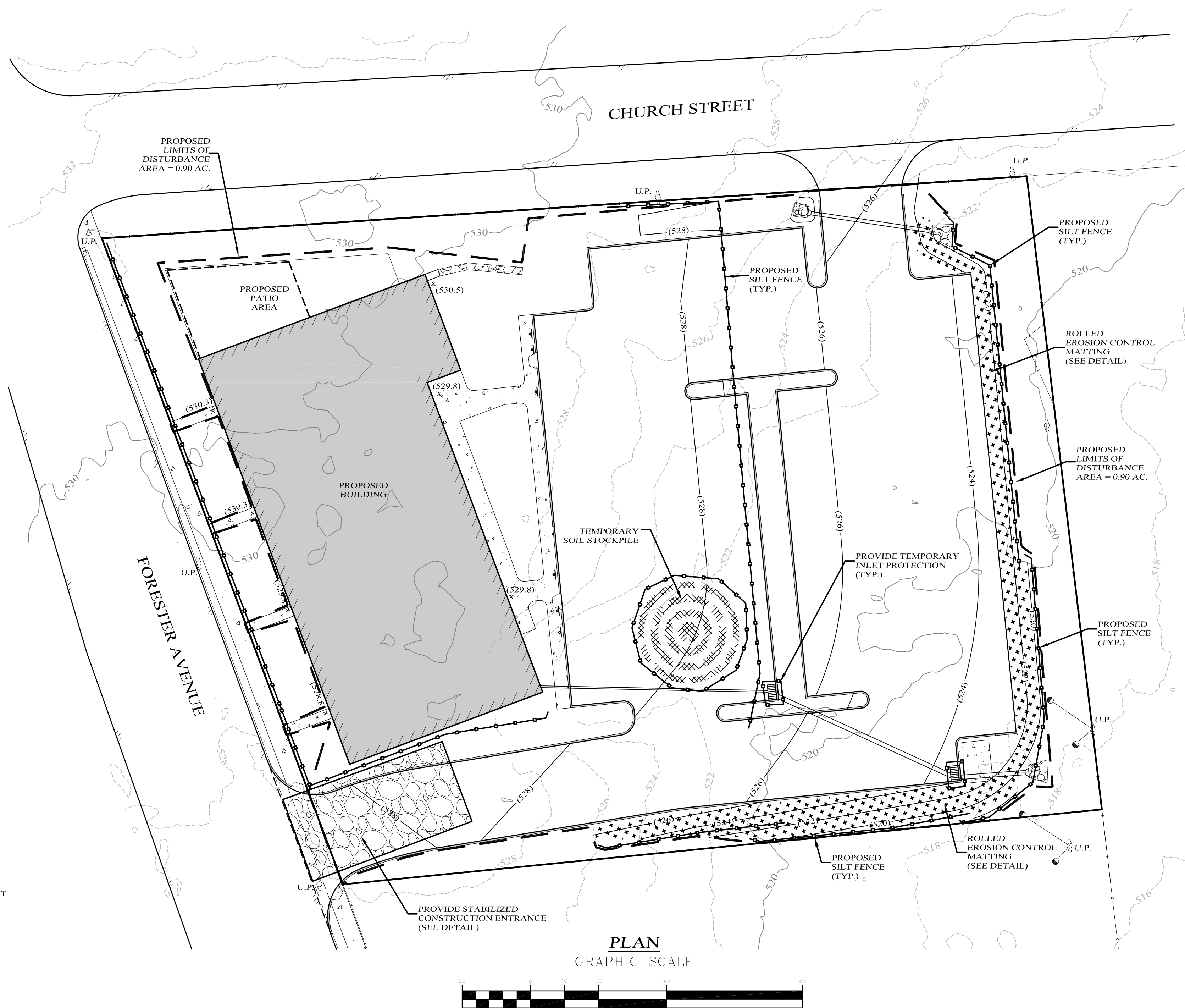
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTIONS
3. ALL SILT FENCES SHALL RUN PARALLEL TO THE CONTOUR OF THE LAND.
4. ALL SILT FENCING SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR AND ENGINEER.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED



1. ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC R.O.W. ALL SEDIMENT SHALL BE REMOVED FROM THE ENTRANCE ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.
2. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE ENTRANCE TO THE PAVED ROAD INTERSECTS ANY PAVED ROADWAY. THE BLANKET SHALL BE COMPOSED OF 3/4" CRUSHED STONE. THE BLANKET SHALL BE MAINTAINED AT LEAST 2" X 30" FOR THE ROAD ENTRANCE AND 3" X 50' FOR DIVERTED ROAD. IT SHALL BE PLACED ON COMPACTED SUB-GRADE.
3. A FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE CRUSHED STONE.
4. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE IF PIPING IS NECESSARY. A MOUNTAINED BERM WITH 5:1 SLOPES WILL BE PERMITTED.
5. PERIODIC INSPECTION AND NECESSARY MAINTENANCE SHALL BE PROVIDED.



NOT TO SCALE



AREAS REMAINING DISTURBED FOR 14 DAYS OR MORE SHALL BE STABILIZED AS FOLLOWS

SCARIFY SOILS IF COMPACTED, LIME TO pH OF 6.0 IF REQUIRED, FERTILIZE WITH 600 LBS/ACRE 5-10-10 FERTILIZER IF REQ., SEED WITH SPECIES AND RATE SHOWN BELOW, MULCH WITH HAY OR STRAW AT A RATE OF 2 TONS/ACRE, ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.

	APPLICATION RATE
RYEGRASS (ANNUAL OR PERENNIAL)	30 LBS/ACRE
(USE WINTER RYE IF SEEDING IN OCT./NOV.)	(0.7 LBS/1000 SF)

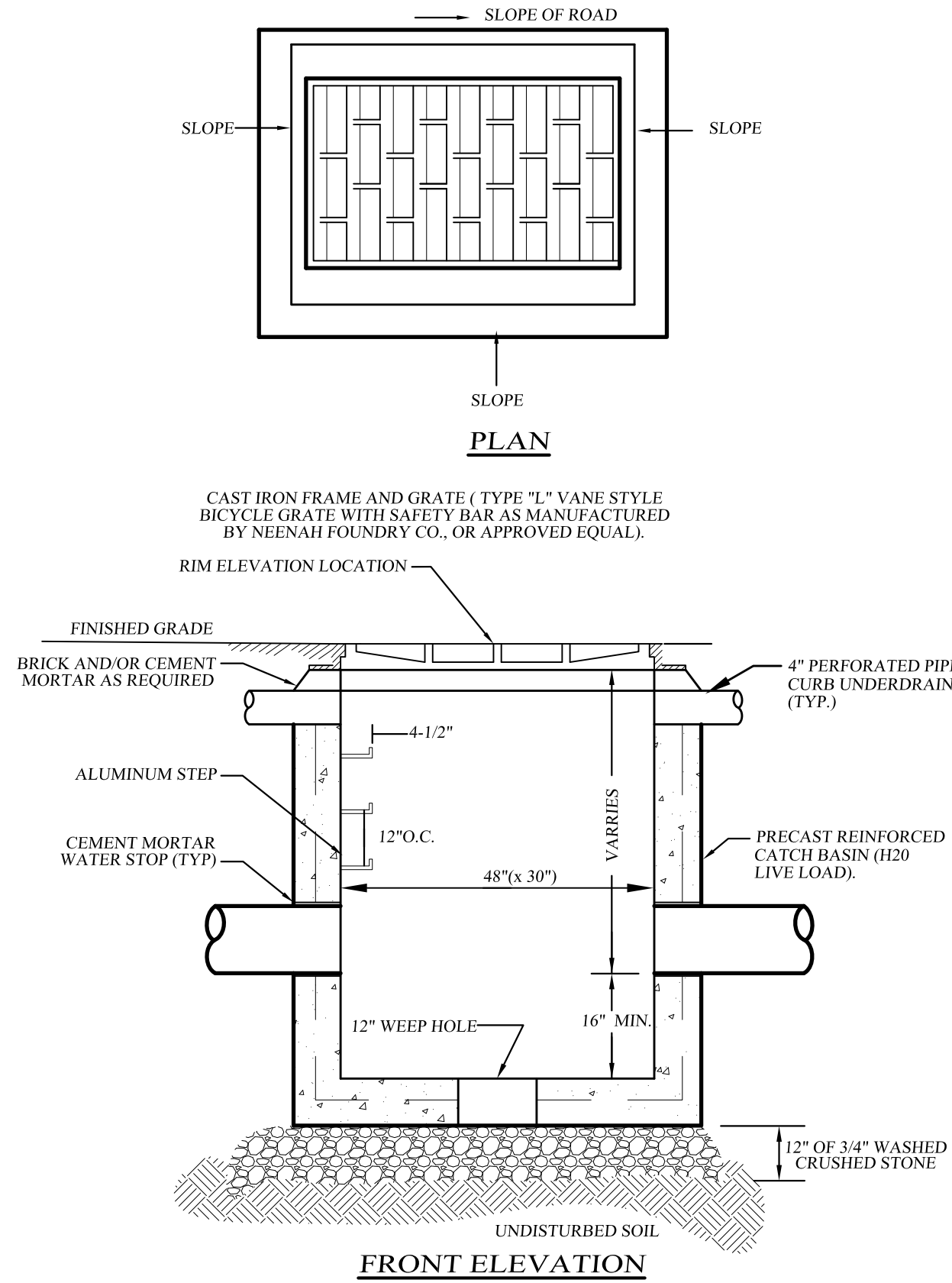
<u>MODERATE TO STEEP SLOPES AND LOW MAINTENANCE AREAS</u>	
<u>SPECIES</u>	<u>APPLICATION RATE</u>
EMPIRE BIRDSFOOT TREFOIL	5 LBS/ACRE
TALL FESCUE	20 LBS/ACRE
	5 LBS/ACRE
<u>GENERAL RECREATION AREAS AND LAWNS</u>	
<u>SPECIES</u>	<u>APPLICATION RATE</u>
SUNNY SITES (WELL, MODERATELY WELL, AND SOMEWHAT POORLY DRAINED SOILS)	
65% KENTUCKY BLUEGRASS BLEND	85-114 LBS/ACRE
20% PERENNIAL RYEGRASS	26-35 LBS/ACRE
15% FINE FESCUE	19-26 LBS/ACRE
SUNNY DROUGHTY SITES (SOMEWHAT TO EXCESSIVELY DRAINED SOILS)	
65% FINE FESCUE	114-143 LBS/ACRE
15% PERENNIAL RYEGRASS	26-33 LBS/ACRE
20% KENTUCKY BLUEGRASS BLEND	35-44 LBS/ACRE

- A. INSTALL NEEDED WATER AND EROSION CONTROL MEASURES AND BRING AREA TO BE SEED TO DESIRED GRADES USING A MINIMUM OF 4" OF TOPSOIL.
- B. PREPARE SEED BED BY LOOSENING SOIL TO A DEPTH OF 4-6 INCHES
- C. LIME TO A pH OF 6.5
- D. FERTILIZER PER SOIL TESTS, OR, IF FERTILIZER IS NOT TO BE APPLIED BEFORE SOIL TESTS, APPLY 850 POUNDS OF 5-10-10 OR EQUIVALENT PER ACRE (20 LBS / 1000 SQ. FT.)
- E. INCORPORATE LIME AND FERTILIZER IN TOP 2-4 INCHES OF SOIL
- F. SMOOTH. REMOVE ALL STONES OVER 1" IN DIAMETER, STICKS AND FOREIGN MATTER. FIRM SEED BED.
- G. APPLY SEED PER PERMANENT SEEDING SCHEDULE.

SHADY DRY SITES (WELL TO SOMEWHAT POORLY DRAINED SOILS)
80% SHADE TOLERANT KENTUCKY
BLUEGRASS BLEND
20% PERENNIAL RYEGRASS

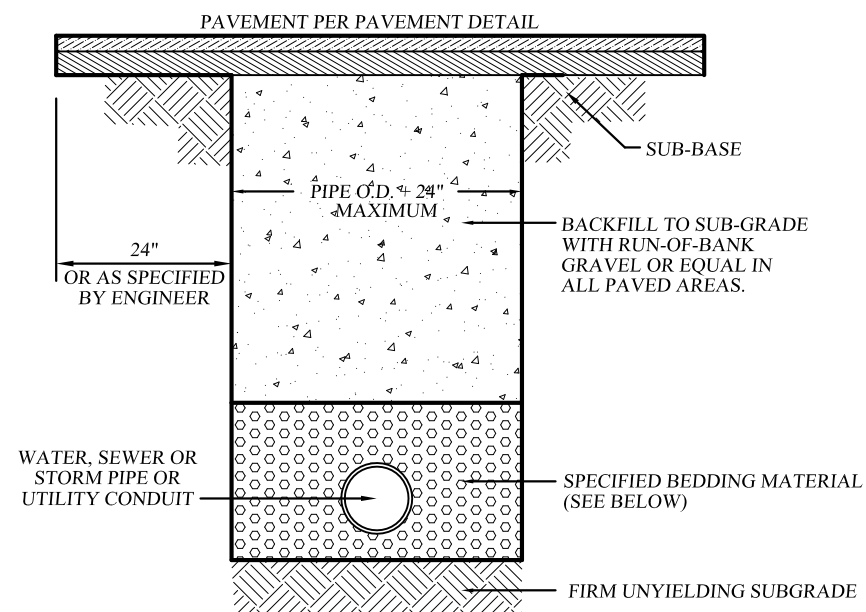
SHADY WET SITES (SOMEWHAT POOR TO POORLY DRAINED SOILS)
70% ROUGH BLUEGRASS
80% SHADE TOLERANT KENTUCKY
BLUEGRASS BLEND

		<div><div>KIRK ROTHER, P.E.</div><div>CONSULTING ENGINEER, PLLC</div><div>5 St. Stephens Lane, Warwick, NY 10990</div><div>(845) 988-0620</div></div>																
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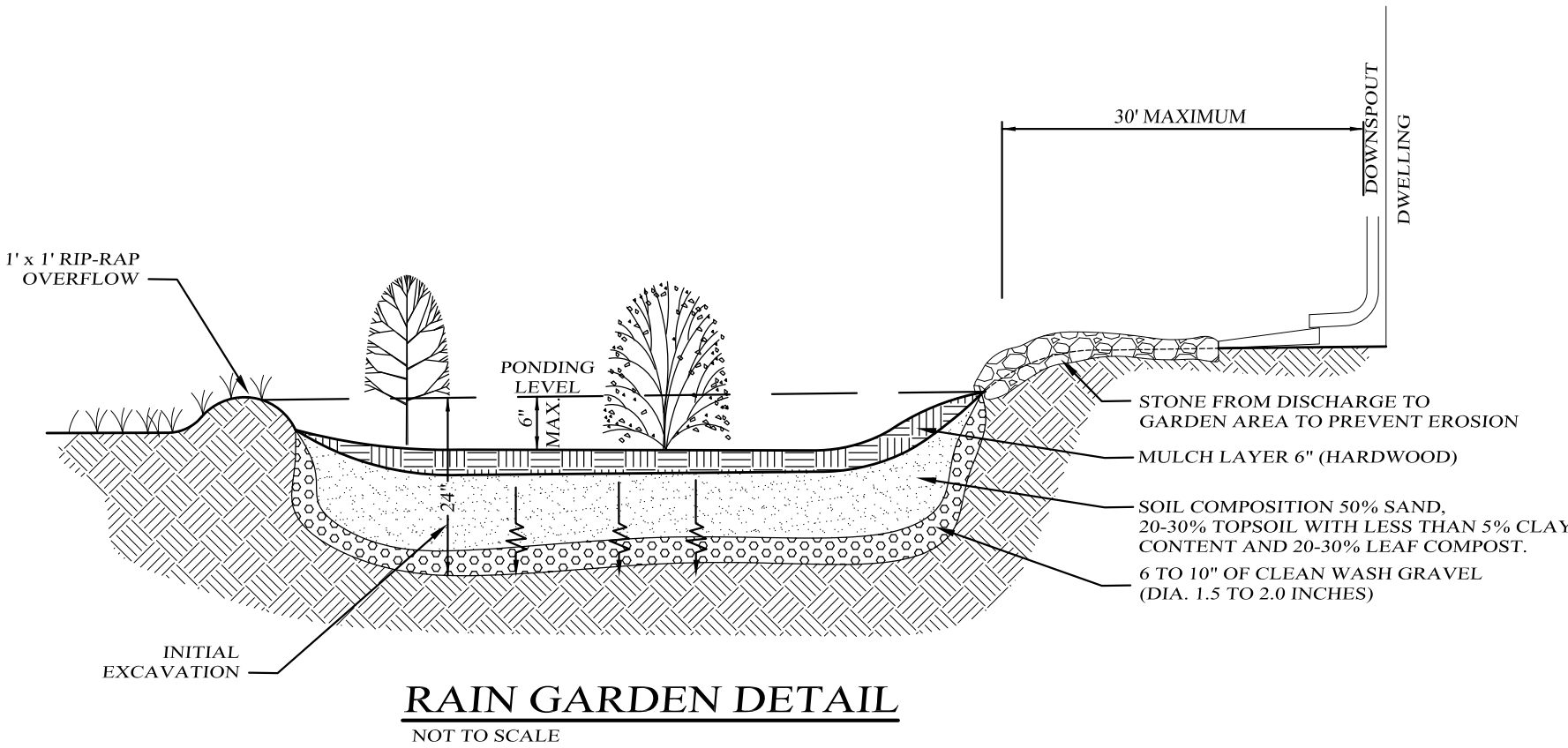
- NOTES:
1. BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX. 8" LIFTS.
 2. THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF CATCH BASIN AND ADEQUATELY MORTARED.
 3. PRECAST CONCRETE TO BE 4000 PSI @ 28 DAYS

PRECAST CONCRETE CURB INLET DETAIL
NOT TO SCALE

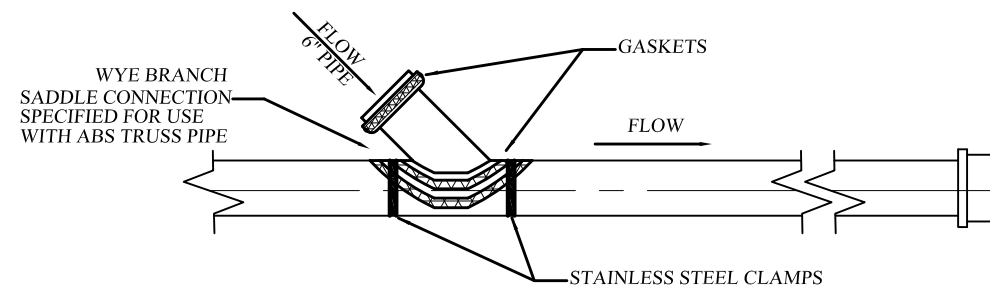


- PIPE ZONE BEDDING MATERIAL:
1. WATER MAINS: SAND OR RUN-OF-BANK GRAVEL, AS APPROVED BY SOILS ENGINEER.
 2. SEWER MAINS: 1/4" CHRUSHED STONE.
- PIPE ZONE BACKFILL MATERIAL:
1. WATER MAINS: ON-SITE MATERIAL FREE OF STONE, CLAY FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER.
 2. SEWER MAINS: 1/4" CHRUSHED STONE.

PIPE BEDDING AND BACKFILL DETAIL
NOT TO SCALE
(WITHIN SITE)

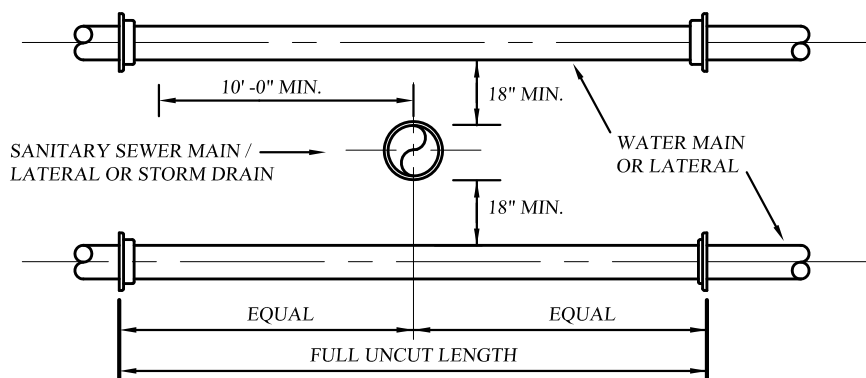


- RAIN GARDEN DETAIL**
NOT TO SCALE
- NOTES:
1. RELATIVELY FLAT SLOPES ARE REQUIRED TO ACCOMADATE RUNOFF FILTERING THROUGH THE SYSTEM, WHEN MODERATE SLOPES ARE PRESENT THE USE OF A BERM OR WALL MAY BE REQUIRED.
 2. RUNOFF MUST ENTER AT THE SURFACE.
 3. USE PLANTS AND SHRUBS WHICH ARE NATIVE TO THE SURROUNDING COMMUNITY THE FOLLOWING IS A LIST OF PLANTS AND SHRUBS WHICH CAN BE USED TO STABILIZE THE PONDING AREA BUT ARE NOT LIMITED TO:
 - SHRUBS: WITCH HAZEL, WINTERBERRY, ARROWWOOD, BROOK-SIDE ALDER, RED-OSIER DOGWOOD, SWEET PEPPERBUSH.
 - HERBACEOUS PLANTS: CINNAMON FERN, CUTLEAF CONEFLOWER, WOOLGRASS, NEW ENGLAND ASTER, FOX SEDGE, SPOTTED JOE-PYE WELD, SWITCH GRASS, GREAT BLUE LOBELIA, WILD BERGAMOT, RED MILKWEED.
 5. WEEDING AND WATERING ARE ESSENTIAL FOR THE FIRST YEAR TO ESTABLISH HARDY GROWTH. REPLACE PLANTS AS REQUIRED.
 6. LENGTH TO WIDTH RATIO OF 2:1, WITH THE LONG AXIS PERPENDICULAR TO THE SLOPE OF THE FLOW PATH.

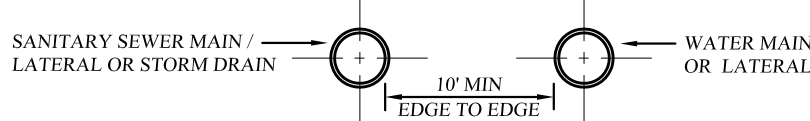


- NOTES:
1. INSTALLATION AND MATERIALS OF THE SADDLE CONNECTION TO CONFORM WITH THE VILLAGE OF WARWICK SEWER DEPT. CRITERIA. THERE WILL BE NO DEVIATION FROM THE APPROVED PLAN WITHOUT WRITTEN APPROVAL FROM THE VILLAGE OF WARWICK.

SADDLE CONNECTION DETAIL
NOT TO SCALE
(REFER TO SANITARY SEWER SPECIFICATION NOTES FOR MODEL #S AND MATERIALS REQUIRED)



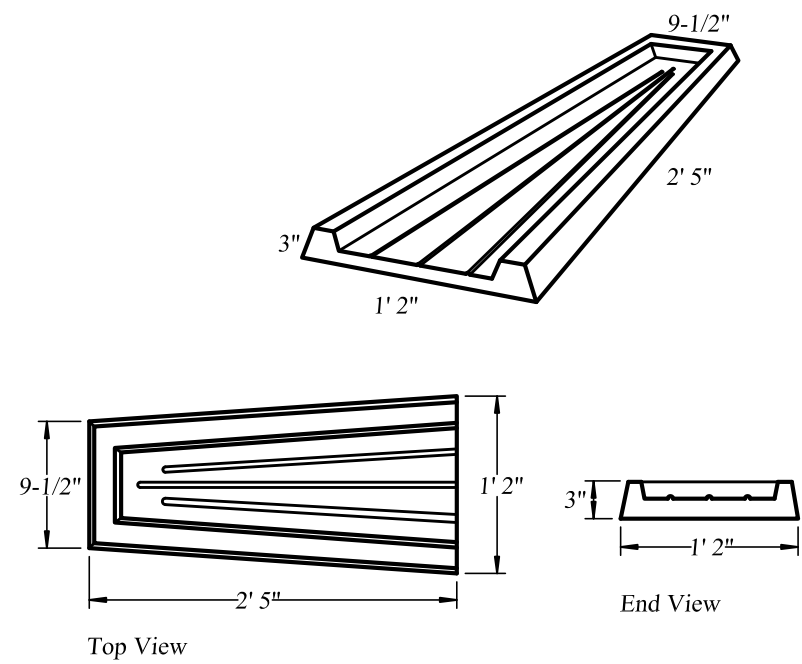
VERTICAL SEPARATION DETAIL
NOT TO SCALE



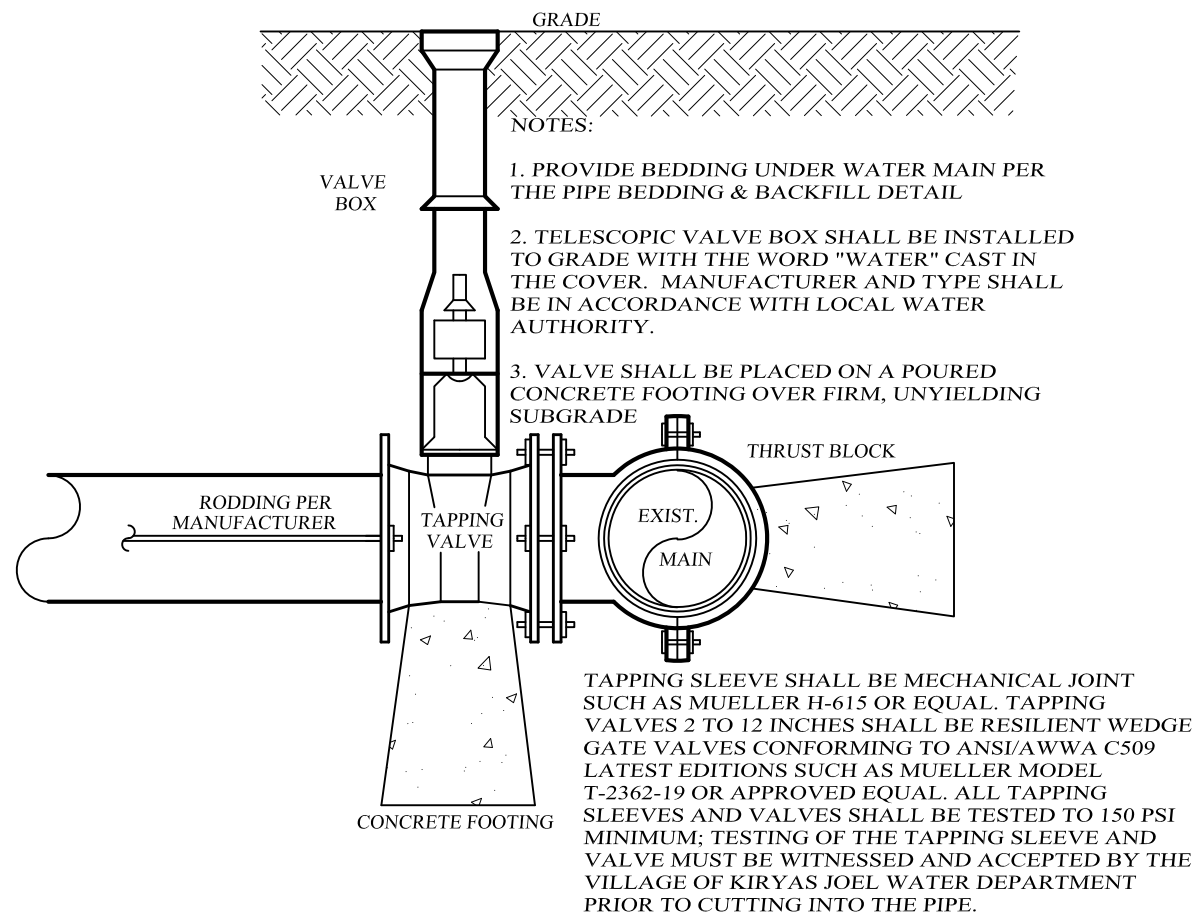
HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

- NOTES:
1. THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS
NOT TO SCALE



CONCRETE SPLASH PAD DETAIL
NOT TO SCALE
NOTE:
AS MANUFACTURED BY WOODARD'S CONCRETE MODEL SSB OR APPROVED EQUAL.



WATER MAIN TAPPING VALVE DETAIL
NOT TO SCALE

13 FORESTER, LLC

SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK

DRAINAGE & SANITARY DETAILS

KIRK ROTHER, P.E.

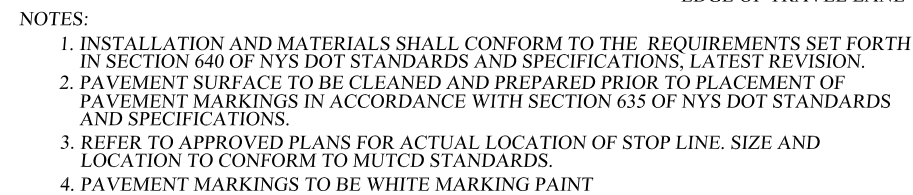
CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

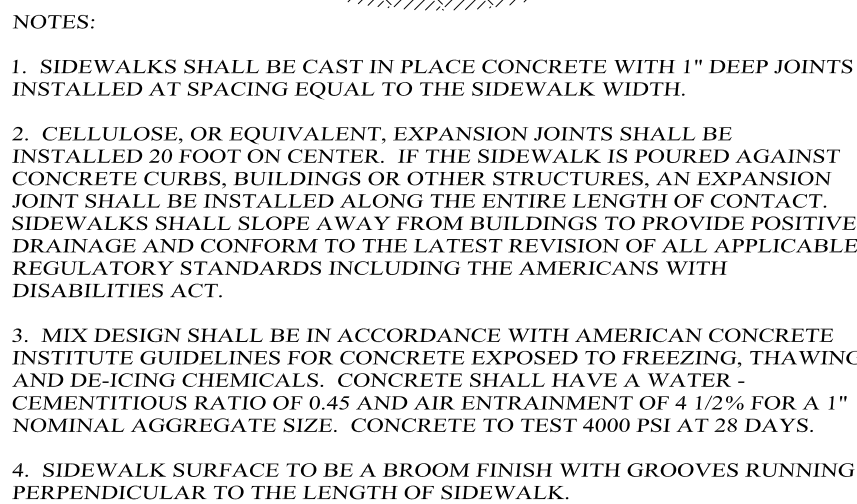
DATE	REVISIONS
04-25-22	INITIAL PREPARATION

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.

D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
N.A.	N.A.	N.A.	5 OF 6
CAD #	PROJECT #	SCALE	
20142SP	20142.0	AS NOTED	



NOT TO SCALE



NOT TO SCALE



1. ALL HANDICAP MARKINGS SHALL CONFORM TO THE LATEST REVISION OF THE AMERICANS WITH DISABILITIES ACT, AND ALL OTHER APPLICABLE RULES AND REGULATIONS.
2. HANDICAPPED PARKING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ELEVATORS, RAMPS, WALKWAYS, AND HANDICAP ACCESSIBLE ENTRANCES. MAXIMUM DISTANCE FROM HANDICAP ACCESSIBLE ENTRANCES SHALL BE 200'.
3. HANDICAP PARKING SPACES SHALL BE CONSTRUCTED NEARLY LEVEL WITH THE MAXIMUM SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION.
4. EACH PARKING SPACE SHALL BE MARKED BY A HANDICAP SIGN, PAINTED, 54" WIDE X 60" HIGH HANDICAP SYMBOL, AND PAINTED WITH WHITE CHALK LETTERING TO BE 12" HIGH AND STRIPING SHALL BE 6" WIDE.

NOT TO SCALE



1. CONSTRUCTION OF ALL HANDICAP ACCESSABLE FEATURES SHALL CONFORM THE TO LATEST REVISION OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.

HANDICAP ACCESSIBLE RAMP DETAIL



1. DUMPSTER PAD TO BE 6" THICK 3,000 PSI CONCRETE WITH WELDED WIRE MESH REINFORCEMENT. PAD SHALL BE PLACED ON 8" BED OF COMPACTED #2 GRAVEL.
2. DUMPSTER ENCLOSURE TO BE CONSTRUCTED OF 6' CHAIN LINK FENCE WITH PRIVACY INSERTS.
3. ENCLOSURE TO BE CONSTRUCTED ACCORDING TO VILLAGE BUILDING CODE REQUIREMENTS.
4. ALL FENCE COMPONENTS, INCLUDING FABRIC, POSTS, RAILS, ETC. SHALL HAVE A THERMALLY FUSED PVC COATED FINISH. COLOR SHALL BE DARK GREEN OR BLACK.
5. DUMPSTERS INSIDE ENCLOSURE SHALL NOT BE VISIBLE.

NOT TO SCALE



1. CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
2. MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.

NOT TO SCALE



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NOT TO SCALE

			KIRK ROTHER, P.E. CONSULTING ENGINEER, PLLC 5 St. Stephens Lane, Warwick, NY 10990 (845) 988-0620
04-25-22	INITIAL PREPARATION		
DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 079053 DATE
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		O.C.S.D. SHEET # N.A. SCALE AS NOTED	SHEET # 6 OF 6