

LEGEND	
PROPERTY LINE	---
SET BACK LINE	---
BUILDING LINE	---
BURIED UTILITIES	---
MACADAM EDGE LINE	---
SEWAR LINE	—S—S—
CONTOUR LINE	520
MASONRY RETAINING WALL	---
GRADE ELEVATION	GRADE ELEV. = 517' ±
TRAIN TRACKS	---

GENERAL NOTES:

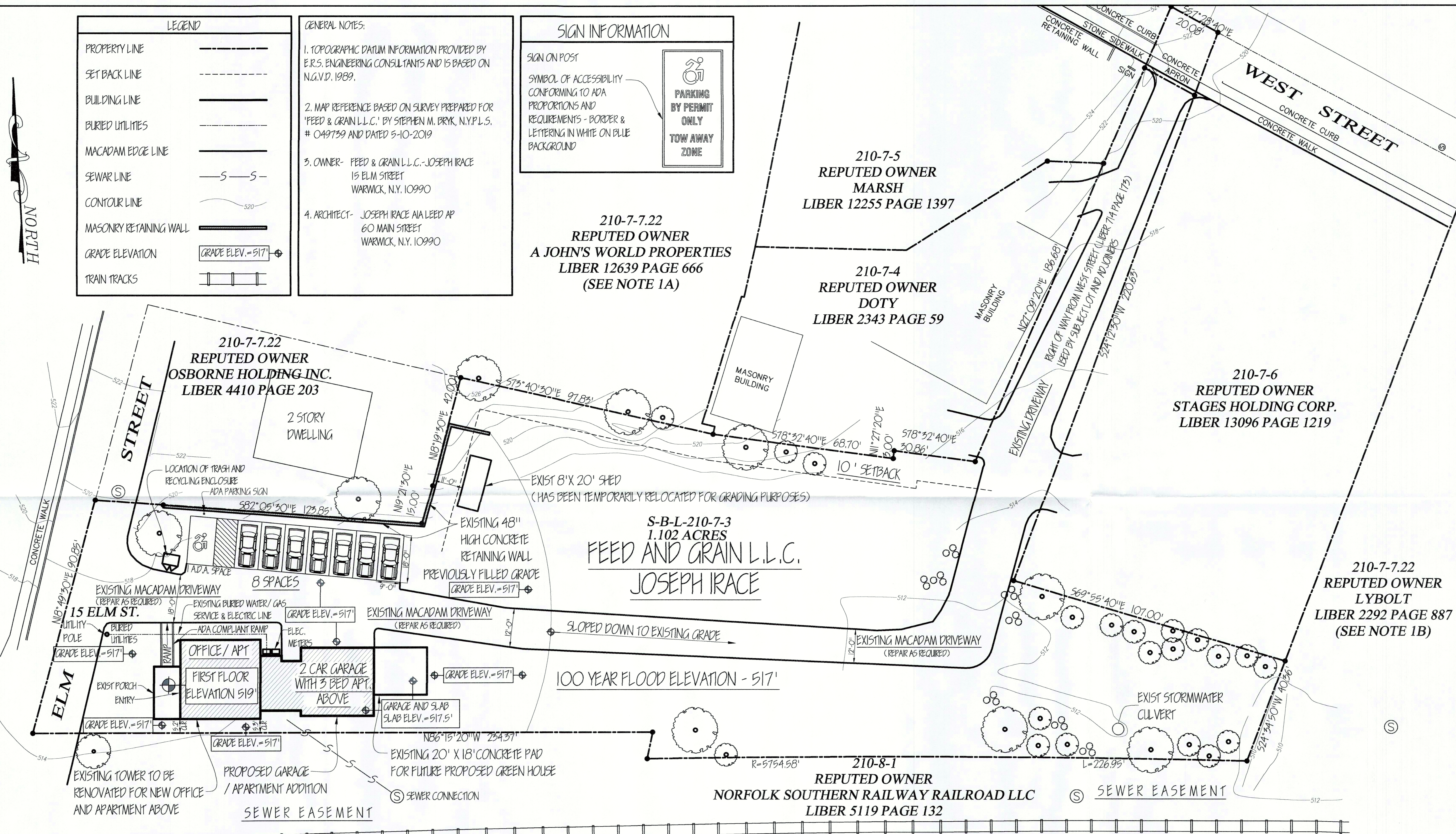
1. TOPOGRAPHIC DATUM INFORMATION PROVIDED BY E.R.S. ENGINEERING CONSULTANTS AND IS BASED ON N.G.V.D. 1989.
2. MAP REFERENCE BASED ON SURVEY PREPARED FOR 'FEED & GRAIN L.L.C.' BY STEPHEN M. BRYK, N.Y.P.L.S. # 049739 AND DATED 5-10-2019
3. OWNER- FEED & GRAIN L.L.C.-JOSEPH IRACE
15 ELM STREET
WARWICK, N.Y. 10990
4. ARCHITECT- JOSEPH IRACE AIA LEED AP
60 MAIN STREET
WARWICK, N.Y. 10990

SIGN INFORMATION

SIGN ON POST

SYMBOL OF ACCESSIBILITY CONFORMING TO ADA PROPORTIONS AND REQUIREMENTS - BORDER & LETTERING IN WHITE ON BLUE BACKGROUND

PARKING BY PERMIT ONLY TOW AWAY ZONE

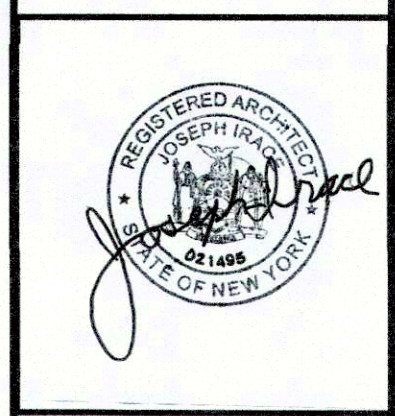


VILLAGE REVIEW- JULY 28, 2019
PLANNING BOARD REVIEW #1 - FEBRUARY 18, 2020
VILLAGE REVIEW- OCT. 6, 2020
PLANNING BOARD REVIEW #2 - JANUARY 12, 2021
PLANNING BOARD REVIEW #3 - JANUARY 24, 2021

ADDITION AND ALTERATION OF EXISTING BUILDING
FEED & GRAIN L.L.C.
15 ELM STREET, VILLAGE OF WARWICK, NY
SITE PLAN

IRACE
ARCHITECTURE
60 MAIN STREET, SUITE #38
WARWICK, NEW YORK 10990
P-845-988-0198
F-845-988-0298

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTO COPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS. ANY USE OR REPRODUCTION IN WHOLE OR PART WITHOUT WRITTEN AUTHORIZATION FROM JOSEPH IRACE IS STRICTLY PROHIBITED.



Drawn by KMRR Job # 1303009
Date FEBRUARY 24, 2021
Scale 1/16" = 1'-0"

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