

Nov 18, 2024

The Village of Warwick

77 Main Street
PO Box 369
Warwick, NY 10990

RE: 19 Welling Place Renovation, Warwick, NY
Site Plan Application

Attn:

Michael Newhard, Village Mayor
Barry Cheney, Deputy Mayor
Boris Rudzinski, Building Inspector
Kristin Bialosky Planning and Zoning Secretary
Members of the Village of Warwick Planning Board

To the Members of the Village of Warwick Planning Board:

We respectfully submit these revised documents to the Village of Warwick Planning Board for the public hearing on **Dec 10, 2024** .

We revised the documents, incorporating the comments from the Village attorney, Elizabeth Cassidy, and the Village Engineer, Keith Woodruff.

We have a project number from **The New York State Historic Preservation Office** (SHPO), 24PR10081. The project type is listed as a consultation, with a submission number of 24PR10081.001

We sincerely appreciate your time and dedication to the Village of Warwick. Your commitment to this project is invaluable, and we thank you for your service.

Sincerely,



Christopher JP Collins, R.A. LEED^{AP}
Registered Architect, NYS License #028679

Village of Warwick Planning Board 77
Main Street, PO Box 369
Warwick, New York 10990
Tel: (845) 986-2031, ext. 7
Email: planning@villageofwarwick.org

OFFICE USE ONLY: Date Received: _____ App. Fee Received: _____ Escrow Received: _____

APPLICATION FOR SITE PLAN
(Preliminary Review / Final Approval / Amendment to Site Plan)
[All information must be completed. If not applicable, note N/A. Must be signed & notarized.]

1. Project Name 19 Wellign Place Renovation

2. Tax map designation: Section 207-5-25 Block _____ Lot _____

3. Zoning District – please circle: R LO MR-SC CCRC **CB** GC LI TND PAC AD
**See Article II Zoning Districts and Zoning Maps. *All applications are subject to ARB review, except as specified by the VC.*

4. Is the property located in the Historic District? **Yes**^X No _____
**See Historic District Map. If 'yes', applicant must complete an AHDRB application and go before the AHDRB.*

For questions 5 – 10 use Article III Use Regulations of the V. of Warwick Zoning Code, Table of General Use Requirements

5. Type of Existing Use: Automotive Repair / Apartments

6. Proposed Type of Use: Professional Office / Apartments

7. Circle Applicable Category for Project's Proposed Use: P* **C*** S* P

8. Proposed Project's Use Group(s): J

9. Proposed Project's Special Conditions: §145-120 **last column in Table of General Use Requirements*

10. Per Article III Use Regulations of the Village of Warwick Zoning Code, Table of General Use Requirements, does the project additionally require:

- Conditional Use Permit: **Yes** No
**If 'yes' applicant must complete a Conditional Use Permit Application.
Applicants to review ARTICLE XI Conditional Use Review and Approval & Article XII Conditional Use & Special Use Permit Use Standards.
- Special Use Permit: Yes **No**
**If 'yes' applicant must complete a Special Use Permit Application
Applicants to review Article XII Conditional Use & Special Use Permit Use Standards.

11. Type of Project: check one
 Preliminary Site Plan Review
 Final Site Plan Review
 Amendment to Approved Site Plan

12. **Application Fee(s)**, payable to the Village of Warwick, submitted as separate checks with the application:
• Application for Preliminary Site Plan Review Fee: \$350.00 Check # _____
• Supplementary Final Site Plan Fee: \$150.00 Check # _____
**Supplementary Fee in combination with initial Preliminary Site Plan Review Application Fee will satisfy Application for Final Site Plan Fee.*
• Application for Final Site Plan Fee: \$500.00 Check # _____
• Application for Amendment to Site Plan Fee: \$350.00 Check # _____

13. **Escrow Fee**, payable to the Village of Warwick, submitted as separate checks with the application:

- Base Escrow (Preliminary/Final /Amendment): \$2,000 Check # _____
**Applicants must also complete the attached Escrow Account for Consultant Review Form.*
**Base escrow for Preliminary Site Plan Review will be applied toward Final Site Plan escrow.*

14. Applicant's Name C Bossolina Group LLC Phone 201-481-8766
 Address 21 Union Corners Road, Warwick Email cbossolina@yahoo.com
(Street Number & Name) (Post Office) (State) (Zip Code)

Owner's Name Charlie and Patti Bossolina Phone 201-481-8766
 Address 21 Union Corners Road, Warwick Email cbossolina@yahoo.com
(Street Number & Name) (Post Office) (State) (Zip Code) pbossolina@yahoo.com

Applicant's Representative's Name Christopher Collins, RA Phone 845-988-0233
 Address 10 Nieland Drive, Warwick NY 10990 Email chris@base10arch.com
(Street Number & Name) (Post Office) (State) (Zip Code)

Plan Preparer's Name Brian Friedler Phone 845-544-5662
 Address 9 Locust St, Warwick NY 10990 Email friedlerengineering@outlook.com
(Street Number & Name) (Post Office) (State) (Zip Code)

Attorney's Name _____ Phone _____
 Address _____ Email _____
(Street Number & Name) (Post Office) (State) (Zip Code)

Meeting Notification Name _____ Phone _____ Email _____

15. Total acreage 0.090 Number of lots 1

16. This application is for the use and construction of Mixed use space: Offices first floor,
apartments second floor

17. Is any variance from Article IV Bulk Requirements requested? Yes / No

If so, for what? _____

18. Has the Zoning Board of Appeals granted any variance or has the Village Board granted any special use permit concerning this property? Yes / No

If so, list Applicant Name _____ **(Attach entire ZBA & VB approval.)**

19. Estimated area of disturbance none

TO BE SIGNED AND NOTARIZED

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

Patricia A. Bossolina 50%

Charles A. Bossolina 50%

COUNTY OF Orange
STATE OF New York SS:

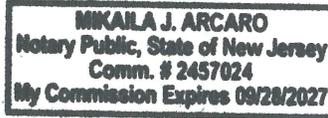
I, Charles A. Bossolina, hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true.

Sworn before me this 8th Day of October 2024

Signature [Signature]

Title _____

Mikala Arcaro
Notary Public



PROXY STATEMENT (Completion required ONLY if applicable)

COUNTY OF _____
STATE OF _____ SS:

_____, being duly sworn, deposes and says that he resides at _____ in the County of _____ and State of _____ (Owners Address)

And that he is the (owner in fee) _____ of the _____ (Official Title)

(corporation which is the owner in fee) of the premises described in the foregoing application and that he has authorized _____ to make the foregoing application for Planning Board approval as described herein and to represent him on all Planning Board matters.

Sworn before me this _____ Day of _____ 20____

Owner's or Official's Signature _____

Notary Public

TO BE SIGNED AND NOTARIZED

IN THE EVENT OF CORPORATE OWNERSHIP: A list of all directors, officers and stockholders of each corporation owning more than five percent (5%) of any class of stock must be attached.

COUNTY OF ORANGE
STATE OF NEW YORK SS:

I, Patricia Bossolina, hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true.

Sworn before me this

Signature Patricia Bossolina

8 Day of OCT 20 24

Title _____

Veronica Avery
Notary Public

VERONICA AVERY
Notary Public, State of New York
Reg. No. 01AV4808821
Qualified in Orange County
Commission Expires 01/31/2027

PROXY STATEMENT (Completion required ONLY if applicable)

COUNTY OF _____
STATE OF _____ SS:

_____, being duly sworn, deposes and says that he resides at _____ in the County of _____ and State of _____ (Owners Address)

And that he is the (owner in fee) _____ of the _____ (Official Title)

(corporation which is the owner in fee) of the premises described in the foregoing application and that he has authorized _____ to make the foregoing application for Planning Board approval as described herein and to represent him on all Planning Board matters.

Sworn before me this _____ Day of _____ 20____

Owner's or Official's Signature _____

Notary Public

VILLAGE OF WARWICK PLANNING BOARD
PRELIMINARY / FINAL SITE PLAN / AMENDMENT TO SITE PLAN
CHECKLIST

The following items shall be submitted with a completed checklist to the Planning Board secretary at least 3 weeks prior to the Planning Board Meeting before consideration for being placed on a Planning Board agenda.

INITIAL SUBMISSION

- _____ Project Cover Letter, including a narrative describing the existing and proposed use(s) of the property.
- _____ Completed Application for Preliminary / Final Site Plan Approval / Amendment to Approved Site Plan
- _____ Application fee payable to the Village of Warwick. The memo on the application fee check must indicate the project name and type of payment.
- _____ Escrow deposit payable to the Village of Warwick. The memo on the escrow deposit check must indicate the project name and type of payment.
- _____ Completed Escrow Account for Consultant Review Form.
- _____ Prior approved site plan, if applicable
- _____ Deed and if applicable, confirmation of corporate ownership and proxy.
- _____ Short or Full Environmental Assessment Form (EAF), as appropriate, completed using the NYSDEC online mapper.
https://www.dec.ny.gov/permits/357.html#EAF_Part_1;
https://www.dec.ny.gov/docs/permits_ej_operations_pdf/seafpartone.pdf
- _____ Permit Application for Development in Flood Hazard Areas, if applicable.
- _____ Six collated sets of the Site Plan (4 full size sets, 2 of 11"x17" reduced sets, and entire submittal emailed to planning@villageofwarwick.org in pdf format) bearing the signature and seal of a NYS licensed land surveyor or professional engineer. Refer to Site Plan Requirements for additional requirements.

SUBSEQUENT SUBMISSIONS

Subsequent submissions shall include a cover letter with itemized responses to the Planning Board's review comments and six sets of plans as described above.

SUPPORTING DOCUMENTS

The applicant shall submit reports, correspondence and/or approvals by other agencies, and other documents regarding the proposed project. These might include:

- Correspondence from the Village Board, Architectural and Historic Review Board, and Zoning Board of Appeals
- Environmental Reports (e.g. wetlands, endangered species, site remediation)
- Cultural resources reports
- Traffic studies
- Stormwater Pollution Prevention Plan (SWPPP) or other drainage studies
- Copy of all offers of cession, covenants, deed restrictions, and easements in effect or proposed.

SITE PLAN REQUIREMENTS

1. Title block including the project name, the name, address, license number, seal, and signature of the design professional who prepared the drawings, and the dates of preparation and of each revision.
2. Property boundaries and right-of-way locations, certified by a licensed land surveyor.

3. Name(s) & address(es) of owner(s) and applicant(s).
4. Parcel(s) tax map ID (Section, Block and Lot)
5. Vicinity map. Show zoning district boundaries, if applicable
6. Bulk table showing zoning district(s), applicable use group(s), and bulk requirements together with compliance information.
7. Required yards and setbacks drawn on the plan.
8. North arrow, written and graphic scale.
9. The proposed use, location, height, and designs of all existing and proposed buildings and structures, including exterior renderings and details.
10. Locations of existing utilities on and near the project site.
11. Approval block near the lower right-hand corner.

The Planning Board can waive one or more of the following site plan elements that it deems to be not applicable to the proposed project:

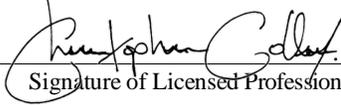
12. Existing contours, at intervals of two feet or less, extending at least 50 feet beyond the property boundary.
13. Existing watercourses, intermittent streams, wetland areas, rock outcrops, trees with a diameter of 8 inches or more 3 feet above ground level, wooded areas, and any other significant features.
14. Location and description of all existing and proposed site improvements, including but not limited to drainage pipes, drains, culverts, ditches, bridges or other drainage works, retaining walls, curbs, pavement, sidewalks, and fences. Provide applicable details.
15. Wetland boundaries, including the name and address of delineator and date of delineation, and jurisdictional agency (NYSDEC or USACE).
16. Boundaries of areas subject to flooding as per the FEMA Flood Insurance Study.
17. Proposed contours, at intervals of two feet or less, with spot grades as needed to clarify proposed grading.
18. Finished floor elevations.
19. Proposed divisions of buildings into different uses.
20. na Road design layout information, profiles, and details.
21. Existing and proposed water supply facilities, including profiles of proposed water mains.
22. Existing and proposed sanitary sewer facilities, including profiles of proposed sewer mains.
23. Erosion control measures, including locations, maintenance notes, and details.
24. The location, type, and screening details for solid waste disposal facilities and containers.
25. Existing signs, and locations and details of proposed signs.
26. na Landscaping plans and details.
27. Lighting plans, details, and manufacturer's information on proposed fixtures.
28. Design of parking and loading areas, with calculations.
29. Locations of any outdoor storage facilities, with details of proposed screening measures.
30. Locations, height and design of lighting, power and communications facilities.
31. Location of fire and other emergency zones including location of nearby fire hydrants. Provide defined access and egress drives with truck turning radius shown where necessary.
32. Location, height, design and direction of all exterior rooftop structures and facilities including placement of any generators, exterior equipment, exhaust systems, noise baffles and appropriate screening.
33. Location and design of all parking and access facilities as are required for the handicapped pursuant to the NYS Building Code.
34. na Inventory and quantity of hazardous materials anticipated for on-site storage and/or use.
35. Plans for the disposal of construction and demolition waste, whether on-site storage and/or use.

- 36. na Sight distances at each proposed driveway or roadway.
- 37. na Profiles of all driveways in excess of ten percent slope.
- 38. TBD Maximum number of employees, maximum seating capacity, hours of operation, etc. specific to the proposed use(s).
- 39. na Match lines.
- 40. na Locations of traffic safety devices and directional flow of traffic shown.
- 41. na For projects involving more than one phase, a site plan indicating the ultimate development of the entire property.
- 42. Special mitigation measures required by the SEQRA review process, whether conducted by the Planning Board or another agency.

This list is provided as a guide only and is for the convenience of the applicant. The Village of Warwick Planning Board may require additional notes or revisions prior to granting approval. The applicant shall review the Village Code and all applicable State, including SEQRA documents in accordance with NYCRR §617 and Federal requirements for additional information required.

Preparer's Acknowledgement:

The plat for the proposed plan has been prepared in accordance with this checklist and the Village of Warwick Ordinances, to the best of my knowledge.

By:  Date: October 16, 2024
 Signature of Licensed Professional

Printed Name: Christopher JP Collins, NYS Registered Architect

**BARGAIN AND SALE DEED WITH COVENANT AGAINST GRANTOR'S
ACTS (INDIVIDUAL OR CORPORATION) HN 76142**
FORM 8002 (short version), FORM 8007 (long version)

CAUTION: THIS AGREEMENT SHOULD BE PREPARED BY AN ATTORNEY AND REVIEWED BY ATTORNEYS FOR SELLER AND PURCHASER BEFORE SIGNING.

THIS INDENTURE, made the 15 day of July, 2024

BETWEEN WILLIAM A. MASTANDREA, Individually, residing at 10 Fawn Hill Court, Warwick, New York 10990

party of the first part, and

C. BOSSOLINA GROUP LLC, a New York-Based Limited Liability Company, having an address of 21 Union Corners Road, Warwick, New York 10990,

party of the second part;

WITNESSETH, that the party of the first part, in consideration of Four Hundred Forty Thousand Dollars No Cents (\$440,000.00), lawful money of the United States, paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever;

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected situate, lying and being in the Village of Warwick, Town of Warwick, County of Orange and State of New York; more particularly described in the Schedule A attached hereto.

Said premises being more commonly known as: "19 Welling Place, Warwick, New York 10990; having a Section, Block & Lot of 207-5-25."

Subject to all covenants, easements and restrictions of record, if any, affecting said premises;

Being and intended to be the same premises conveyed to WILLIAM A. MASTANDREA, who acquired title by Deed dated December 30, 1986, made by RICHARD L. CONKLIN, recorded in the Orange County Clerk's Office on January 7, 1987, in Liber 2638 at Page 237.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any streets and roads abutting the above-described premises to the center lines thereof,

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, the heirs of successors and assigns of the party of the second part forever. AND the party of the first part, covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the

Section: 207, Block: 5, Lot: 25

HILL-N-DALE ABSTRACTERS, INC.

As Agent for
WESTCOR LAND TITLE INSURANCE COMPANY

SCHEDULE A Description

Title Number: HN 76142

ALL that certain lot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Village of Warwick, Town of Warwick, in the County of Orange, State of New York, bounded and described as follows:

BEGINNING at a point in the southerly line of Welling Place and in a northerly corner of lands of The Warwick Valley Telephone Company and runs from said point of beginning:

- 1) Along the lands of said Warwick Valley Telephone Company on the two following courses and distances South 49° 22' 39" West 54.00 feet to a point, thence**
- 2) North 40° 36' 19" West 72.73 feet to a point in the southerly corner of lands now or formerly of the C.G.T. Realty Corporation, thence**
- 3) Along the same North 49° 23' 41" East 54.00 feet to a point in the southerly line of said Welling Place, thence**
- 4) Along the same South 40° 36' 19" East 72.71 feet to the point and place of beginning.**

FOR INFORMATION ONLY:

TOGETHER with a right of way ten feet (10') in width, adjoining the above described premises on the southeast on lands of first parties, running from Welling Place westerly to the Moses' lands.

party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

William A. Mastandrea
WILLIAM A. MASTANDREA

Acknowledgment by a Person Within of New York State (RPL § 309-a)

STATE OF NEW YORK)
) ss.:
COUNTY OF ORANGE)

On the 15 day of July in the year 2024, before me, the undersigned, personally appeared **WILLIAM A. MASTANDREA**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

[Handwritten Signature]
(signature and office of individual taking acknowledgment)

CINDY L. PRINCE O'SHEA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01PR4950352
Qualified in Orange County
Commission Expires April 24, 2027

RECORD AND RETURN TO:
Paul S. Shook Esq. ✓
42 High Street
Warwick, New York 10990

Section: 207, Block: 5, Lot: 25

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)			
<input type="checkbox"/> Forest Agriculture Aquatic Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: _____ Date: _____		
Signature: <u><i>Christopher Colby</i></u> Title: _____		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

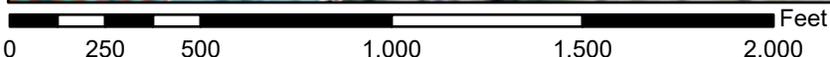
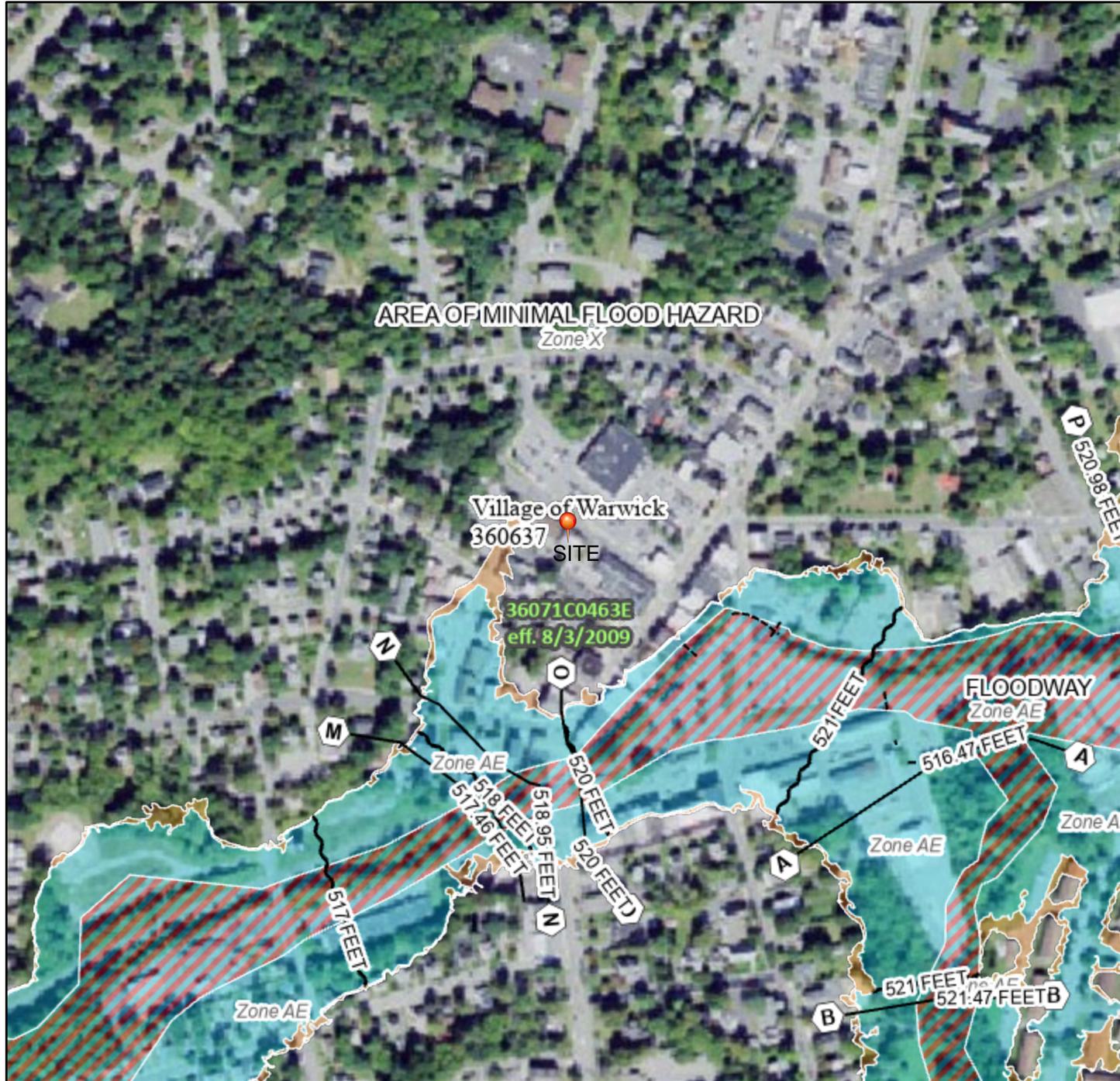


Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Indiana Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

National Flood Hazard Layer FIRMMette



74°21'55"W 41°15'42"N



1:6,000

74°21'18"W 41°15'15"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway	

		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS OF FLOOD HAZARD

		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

OTHER AREAS

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
OTHER FEATURES		Profile Baseline
		Hydrographic Feature

		Digital Data Available
		No Digital Data Available
		Unmapped

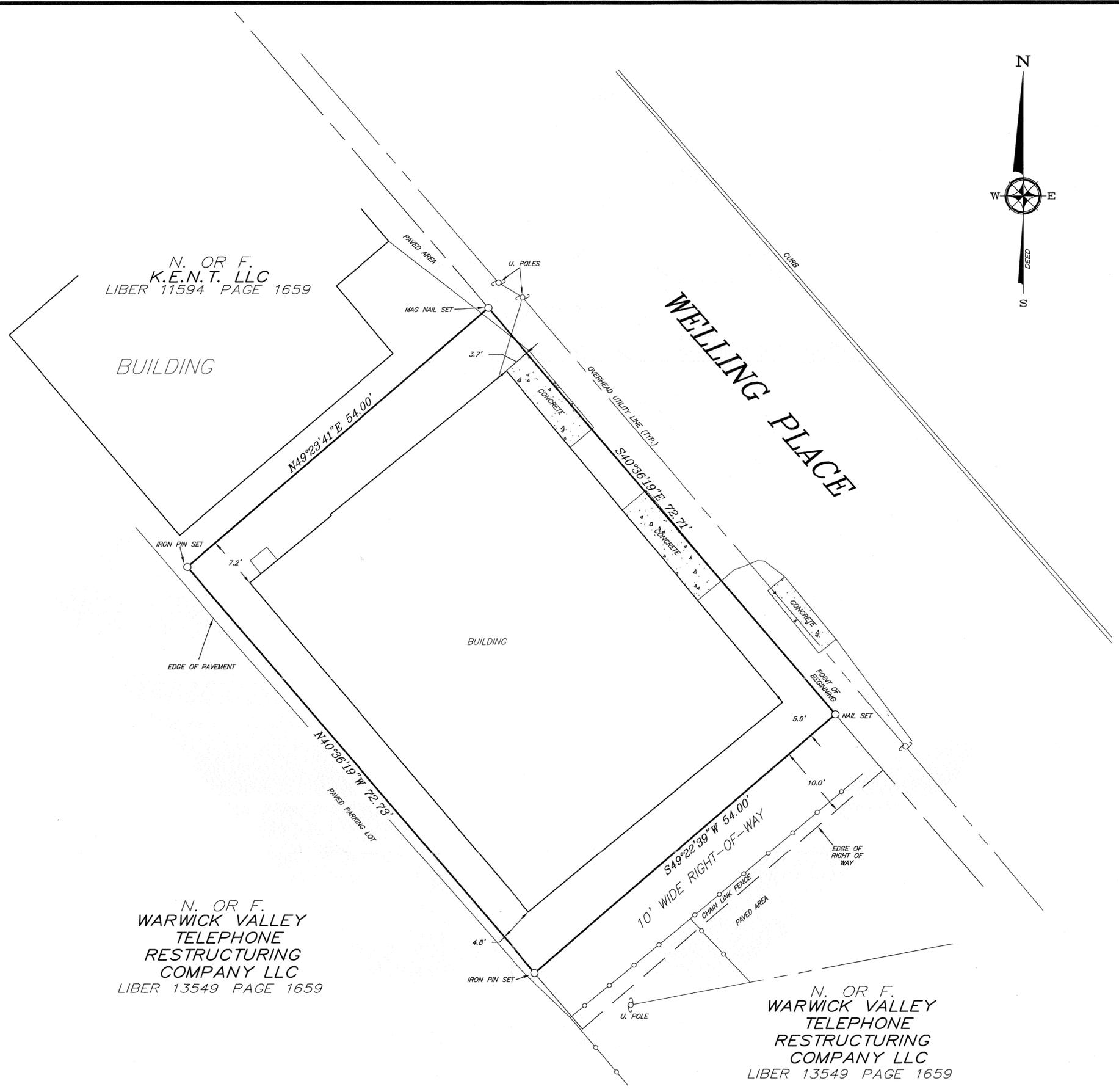
MAP PANELS

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **10/15/2024 at 11:49 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



N. OR F.
K.E.N.T. LLC
LIBER 11594 PAGE 1659

N. OR F.
WARWICK VALLEY
TELEPHONE
RESTRUCTURING
COMPANY LLC
LIBER 13549 PAGE 1659

N. OR F.
WARWICK VALLEY
TELEPHONE
RESTRUCTURING
COMPANY LLC
LIBER 13549 PAGE 1659

SURVEY OF PROPERTY
FOR

C. BOSSOLINA GROUP, LLC

VILLAGE OF WARWICK
SCALE: 1" = 10'

ORANGE COUNTY, N.Y.
AREA = 0.090±ACRES

JANUARY 11, 2024

I HEREBY CERTIFY TO THE PARTIES LISTED BELOW THAT THIS MAP IS BASED ON AN ACTUAL FIELD SURVEY COMPLETED ON JANUARY 10, 2023

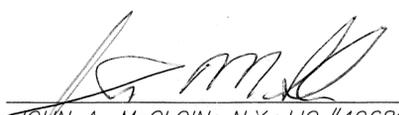
- * C. BOSSOLINA GROUP, LLC
- * WILLIAM A. MASTANDREA
- * WESTCOR LAND TITLE INSURANCE COMPANY

MAP NOTES:

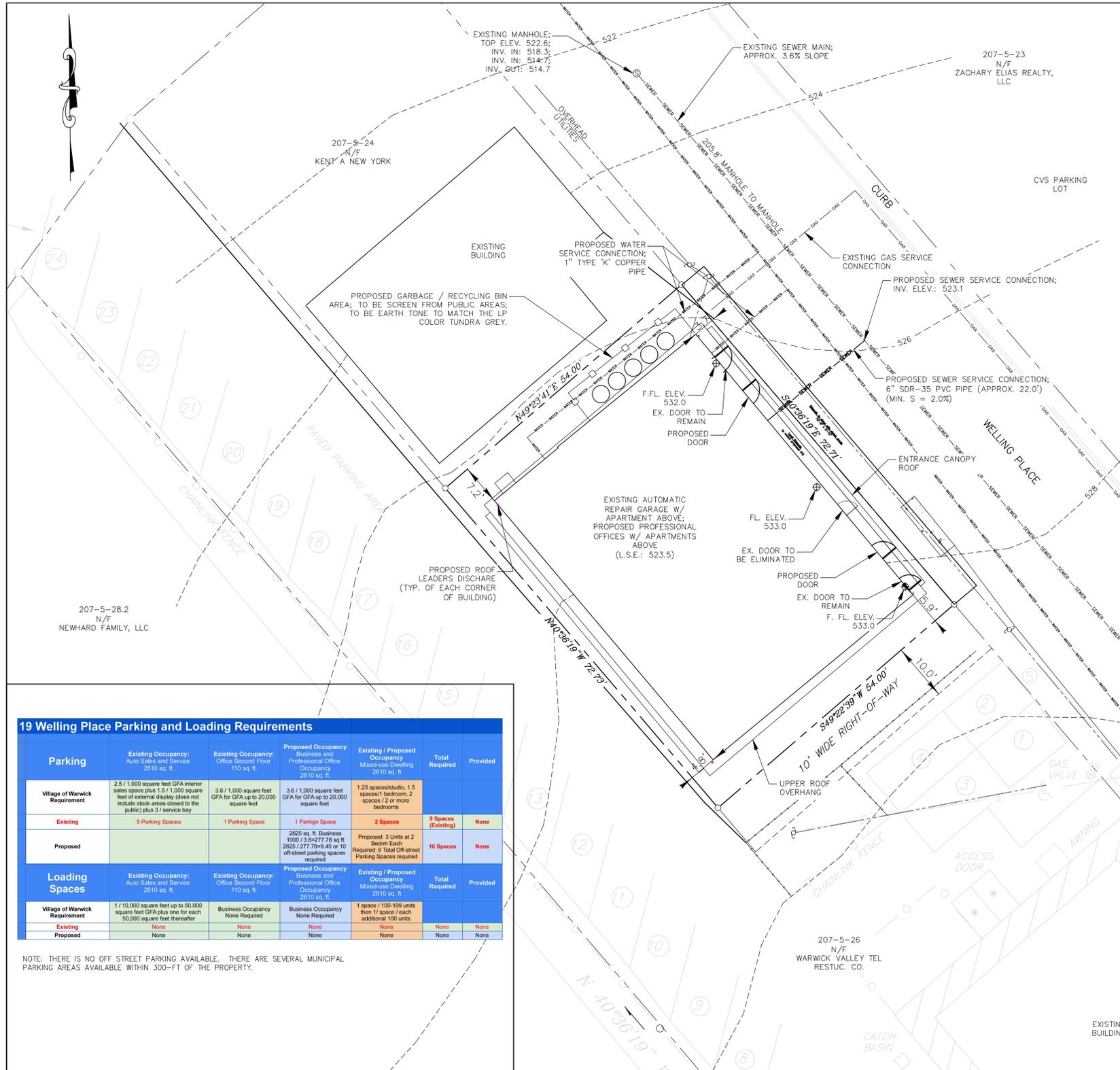
1. TAX MAP DESIGNATION: SECTION 207, BLOCK 5, LOT 25
2. DEED REFERENCE: LIBER 2638, PAGE 237
3. UNLESS ILLUSTRATED AND NOTED BY POINT OF REFERENCE UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS, IF ANY, ARE NOT SHOWN HEREON.
4. SURVEY SUBJECT TO THE FINDINGS OF AN UP TO DATE ABSTRACT OF TITLE.
5. DUE TO THE PRESENCE OF LARGE AMOUNTS OF ICE AND SNOW, ONLY SURFACE IMPROVEMENTS VISIBLE AT THE TIME OF THE SURVEY ARE SHOWN HEREON.

JOHN A. MCGLOIN, PROFESSIONAL LAND SURVEYOR
32 COLONIAL AVENUE, WARWICK, NEW YORK 10990
(845) 986-1262

COPIES OF THIS SURVEY NOT BEARING THE EMBOSSED SEAL OF THE LAND SURVEYOR SHALL NOT BE VALID. GUARANTEES OF CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. UNAUTHORIZED ALTERATION OF THIS DOCUMENT, IN ANY WAY, CONSTITUTES A VIOLATION OF THE NEW YORK STATE EDUCATION LAW, SECTION 7209, SUB-DIVISION 2.


JOHN A. MCGLOIN, N.Y. LIC.#49689
PROFESSIONAL LAND SURVEYOR
32 COLONIAL AVENUE
WARWICK, NEW YORK 10990

FILE No. 23-4098



19 Welling Place Bulk Requirements

CB Zone	Permitted / Conditional	Existing	Proposed
Permitted Uses	Permitted / Conditional	Existing	Proposed
Business / Professional / Government (j)	Permitted *	Automobile sales and service / (o) Gasoline Service Station (o)	Business / Professional / Government (j)
Residences on 2nd & 3rd Floor of existing bldg. (j)	Conditional *	Residences on 2nd & 3rd Floor of existing bldg. (j)	Residences on 2nd & 3rd Floor of existing bldg. (j)
Use Group	j	o, j	j
Minimum Lot Area (sq. ft.) (see also Note 4)	5,000	3902	Unchanged
Lot Width (ft.)	50	72.71	Unchanged
Front Setback (ft.)	Note 1	3.7 feet	Unchanged
Front Yard (ft.)	n/a	N/a	N/a
Side Setback (ft.)	10	5.9	Unchanged
Total Side Setback (ft.)	10	13.1	Unchanged
Side Yard (ft.)	10	7.2	Unchanged
Side Yards within 25' of Residence District Boundary	15	N/a	Unchanged
Rear Setback (ft.)	10	4.8	Unchanged
Rear Yard (ft.)	10	4.8	Unchanged
Rear Yard within 25' of Residence District Boundary	20	N/a	Unchanged
Street Frontage (ft.)	50	72.71 feet	Unchanged
Max Height (ft.)	40	31.66 feet lowest grade to ridge	less than 35 feet
Development Coverage (%) (see also Note 4)	80	73%	Unchanged
Building Coverage (%) (see also Note 4)	40	67%	Unchanged
Floor Area Ratio (F.A.R.)	0.4	1.33	1.33
Lot Depth (ft.)	50	54 feet	Unchanged
Livable Floor Area/ Dwelling Unit (sq. ft.)	600	N/a	Minimum 815 sq. ft. Maximum 848 sq. ft.
Lot Area/ Dwelling Unit (sq. ft.) (see also Note 4)	n/a	N/a	N/a
Bedrooms / Acre of Lot Area	n/a	N/a	N/a

Note 1: The required front setback need not be greater than the average setback of the two nearest neighboring structures located on the same side of the street within 150 feet of the proposed building.

Note 2: The maximum building height shall not exceed thirty-five (35) feet, except that new construction may include one building which shall not exceed forty (40) feet in height. Hotels/motels shall not exceed thirty (30) feet in height.

Note 3: Efficiency - 400 sq ft. One bedroom - 550 sq ft. Two bedroom - 750 sq ft

Note 4: Lot area shall be defined in § 145-181 for columns 2, 15, 15A, 19 and 20 per Local Law #1 of 2001.

Building Area: 2626.21 sq. ft.
Lot Area: 0.90 Acres or 3920.4 square Feet
Current Floor Area: 4432 sq. ft.
Proposed Floor Area: 5252 sq. ft.

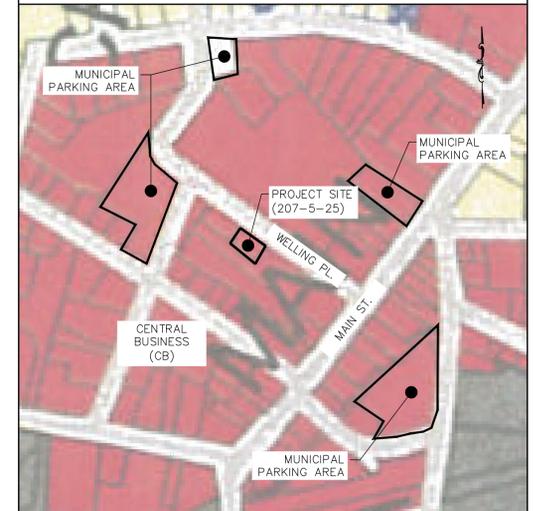
- #### GENERAL NOTES
- TAX MAP DESIGNATION: SECTION 207, BLOCK 5, LOT 25
 - RECORD OWNER / APPLICANT: CHARLIE & PATTI BOSSOLINA, 21 UNION CORNERS ROAD, WARWICK, NY 10990
 - PROPERTY AREA: 0.09 ± ACRES
 - ZONING DISTRICT: CENTRAL BUSINESS (CB)
 - EXISTING WATER SUPPLY: VILLAGE OF WARWICK WATER SYSTEM
 - EXISTING SEWAGE DISPOSAL: VILLAGE OF WARWICK SEWER SYSTEM
 - SURVEY INFORMATION PROVIDED BY JOHN A. MCGLOIN, DATED JANUARY 11, 2024. TOPOGRAPHY INFORMATION TAKEN FROM ORANGE COUNTY IMAGE MATE.
 - EXISTING USE: AUTOMOTIVE REPAIR GARAGE & APARTMENTS
 - PROPOSED USES: PROFESSIONAL OFFICES & APARTMENTS

19 Welling Place Parking and Loading Requirements

Parking	Existing Occupancy: Auto Sales and Service 2610 sq. ft.	Existing Occupancy: Office Second Floor 110 sq. ft.	Proposed Occupancy: Business and Professional Office 2610 sq. ft.	Existing / Proposed Occupancy: Mixed-use Dwelling 2610 sq. ft.	Total Required	Provided
Village of Warwick Requirement	2.5 / 1,000 square feet GFA interior sales space plus 1.5 / 1,000 square feet of external display (does not include stock areas closed to the public) plus 3 / service bay	3.6 / 1,000 square feet GFA for GFA up to 20,000 square feet	3.6 / 1,000 square feet GFA for GFA up to 20,000 square feet	1.25 spaces/studio, 1.5 spaces/1 bedroom, 2 spaces / 2 or more bedrooms	9 Spaces (Existing)	None
Existing	5 Parking Spaces	1 Parking Space	1 Parking Space	2 Spaces	9 Spaces	None
Proposed			2625 sq. ft. Business 1000 / 3.6-277.78 sq ft. 2625 / 277.78-45 or 10 off-street parking spaces required	Proposed: 3 Units at 2 Bedrm Each Required: 6 Total Off-street Parking Spaces required	16 Spaces	None
Loading Spaces	Existing Occupancy: Auto Sales and Service 2610 sq. ft.	Existing Occupancy: Office Second Floor 110 sq. ft.	Proposed Occupancy: Business and Professional Office 2610 sq. ft.	Existing / Proposed Occupancy: Mixed-use Dwelling 2610 sq. ft.	Total Required	Provided
Village of Warwick Requirement	1 / 10,000 square feet up to 50,000 square feet GFA plus one for each 50,000 square feet thereafter	Business Occupancy None Required	Business Occupancy None Required	1 space / 100-199 units then 11 space / each additional 100 units	None	None
Existing	None	None	None	None	None	None
Proposed	None	None	None	None	None	None

NOTE: THERE IS NO OFF STREET PARKING AVAILABLE. THERE ARE SEVERAL MUNICIPAL PARKING AREAS AVAILABLE WITHIN 300-FT OF THE PROPERTY.

VICINITY MAP
SCALE: 1" = 200'±



- #### LIST OF DRAWINGS:
- SITE PLAN
 - DETAILS

LEGEND

---	EXISTING PROPERTY LINE
---	EXISTING CONTOUR

APPROVED FOR FILLING:

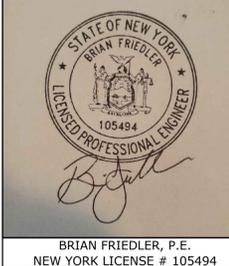
OWNER(S) _____ DATE _____

APPROVED AS A FINAL SITE PLAN BY A RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WARWICK ON _____

CHAIRMAN _____ DATE _____

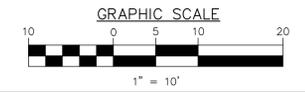
VILLAGE ENGINEER _____ DATE _____

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UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW.

BRIAN FRIEDLER, P.E.
NEW YORK LICENSE # 105494



- #### CONSTRUCTION NOTES:
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY LINES, WHETHER IN THE PUBLIC RIGHT-OF-WAY, IN EASEMENTS, OR IN PRIVATE PROPERTY PRIOR TO STARTING ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES THROUGHOUT THE COURSE OF CONSTRUCTION. PROJECT SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - CALL BEFORE YOU DIG UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION 2 FULL WORKING DAYS BEFORE YOU DIG AT 1-800-962-7962.

ISSUE	DATE	DESCRIPTION
2	11/18/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW
1	10/15/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW

SITE PLAN

BOSSOLINA PROPERTY

SECTION 207 BLOCK 5 LOT 25
VILLAGE OF WARWICK
ORANGE COUNTY, NEW YORK

FRIEDLER ENGINEERING, PLLC

PH. 845.544.5662
9 LOCUST STREET WARWICK, NEW YORK 10990
FRIEDLERENGINEERING@OUTLOOK.COM

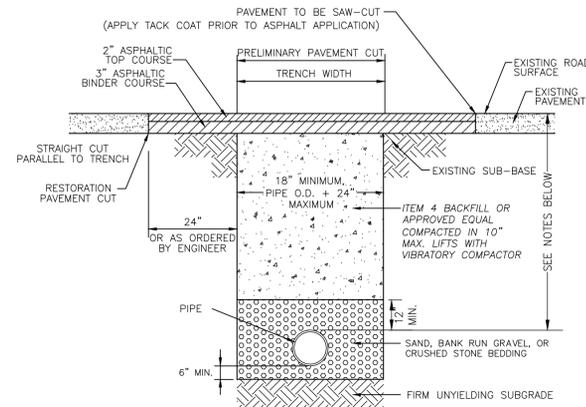
DRAWN BY B/JF	CHECKED BY B/JF	SCALE AS SHOWN	JOB NO. FE-24148	SHEET NO. 1 OF 2
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SANITARY SEWER NOTES:

1. CONTRACTOR TO VERIFY LOCATION, LENGTHS, INVERTS, FEATURES AND CONDITIONS OF ALL SANITARY MANHOLES, PIPELINES, ETC AND SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND APPLICANT OF ANY DISCREPANCIES.
2. ALL SANITARY SEWER LATERALS, MATERIAL AND PROCEDURES OF CONSTRUCTION WILL BE IN ACCORDANCE WITH ALL THE REQUIREMENTS OF THE VILLAGE OF WARWICK SEWER DEPARTMENT. NO INSTALLATION OF PIPE LINES OR RELATED EQUIPMENT SHALL BE INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE OF WARWICK.
3. ALL PIPES SHALL BE INSTALLED IN CONFORMANCE WITH THE PLANS AND FIELD CONDITIONS. ALL NEW SEWER PIPES SHALL BE A MINIMUM 6" SDR-35 PVC PIPE OR APPROVED EQUAL.
4. ALL TESTING SHALL BE ACCORDING TO THE VILLAGE OF WARWICK SEWER DEPARTMENT REQUIREMENTS.

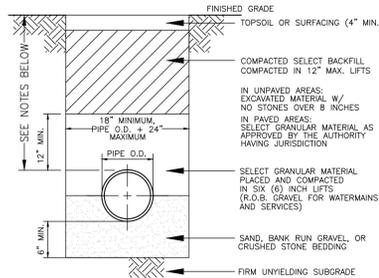
WATER SERVICE NOTES:

1. CONTRACTOR TO VERIFY LOCATION, LENGTHS, INVERTS, FEATURES AND CONDITIONS OF ALL SANITARY MANHOLES, PIPELINES, ETC AND SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND APPLICANT OF ANY DISCREPANCIES.
2. ALL WATER MAIN LATERALS, MATERIAL AND PROCEDURES OF CONSTRUCTION WILL BE IN ACCORDANCE WITH ALL THE REQUIREMENTS OF THE VILLAGE OF WARWICK WATER DEPARTMENT. NO INSTALLATION OF PIPE LINES OR RELATED EQUIPMENT SHALL BE INSTALLED WITHOUT PRIOR WRITTEN APPROVAL OF THE VILLAGE OF WARWICK.
3. ALL PIPES SHALL BE INSTALLED WITH A MINIMUM 4'-6" OF COVER. PIPES SHALL BE TYPE 'K' COPPER PIPE.
4. INSTALLATION AND PROCEDURES FOR COPPER WATER SERVICE PIPE WILL CONFORM WITH THE AMERICAN WATER WORKS ASSOCIATION.
5. ALL TRENCHES SHALL BE BACKFILLED ACCORDING TO THE PROVIDED DETAIL.
6. ALL BENDS AND TEES INSTALLATIONS SHALL BE SUITABLY RESTRAINED BY THE USE OF ADEQUATE THRUST BLOCKS, RODDING, RETAINER RINGS AND/OR THE USE OF SPECIAL GASKETS.
7. ALL TESTING AND DISINFECTION SHALL BE IN ACCORDANCE TO THE VILLAGE OF WARWICK WATER DEPARTMENT OR ORANGE COUNTY DEPARTMENT OF HEALTH.
8. PROPOSED WATER SERVICE LINE TO BE 1" TYPE 'K' COPPER PIPE.



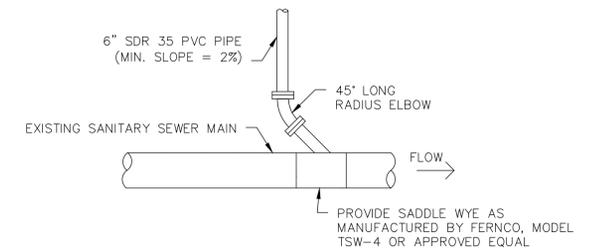
PIPE BEDDING DETAIL SEWER & WATER MAIN IN WELLING PLACE

- NOTES:
1. SEWER LINE TO BE INSTALLED WITH A MINIMUM 2'-0" OF COVER.
 2. SEWER PIPES SHALL BE 6" SDR-35 PVC PIPE OR APPROVED EQUAL.
 3. SEWER PIPES SHALL HAVE MINIMUM SLOPE OF 2%.
 4. WATER SERVICE LINES TO BE INSTALLED WITH A MINIMUM 4'-6" OF COVER.
 5. WATER SERVICE LINE SHALL BE 1" TYPE 'K' COPPER PIPE OR APPROVED EQUAL.



PIPE BEDDING DETAIL SEWER & WATER MAIN OUTSIDE OF WELLING PLACE

- NOTES:
1. SEWER LINE TO BE INSTALLED WITH A MINIMUM 2'-0" OF COVER.
 2. SEWER PIPES SHALL BE 6" SDR-35 PVC PIPE OR APPROVED EQUAL.
 3. SEWER PIPES SHALL HAVE MINIMUM SLOPE OF 2%.
 4. WATER SERVICE LINES TO BE INSTALLED WITH A MINIMUM 4'-6" OF COVER.
 5. WATER SERVICE LINE SHALL BE 1" TYPE 'K' COPPER PIPE OR APPROVED EQUAL.



SEWER SERVICE CONNECTION

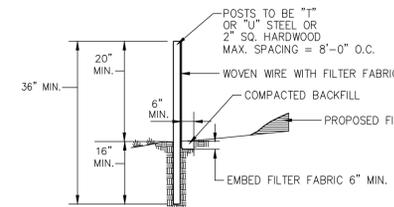
N.T.S.

SEWER SERVICE CONNECTION DETAIL

N.T.S.

SOIL EROSION CONTROL NOTES

1. SILT FENCE BARRIERS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.
2. DISTURBANCE TO BE LIMITED TO THE MINIMUM NECESSARY FOR THE GRADING AND CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
3. TEMPORARY SEEDING WITH ANNUAL RYE GRASS OR OTHER RAPID GROWING MIXTURE SHALL BE PERFORMED ON DISTURBED SOIL REMAINING VACANT FOR MORE THAN ONE MONTH AS FOLLOWS:
 - a. LOOSEN SEEDBED BY DISCING TO 4" DEPTH.
 - b. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 FERTILIZER (20 lbs. per 1000 s.f.)
 - c. SEED WITH PERENNIAL RYEGRASS (20 lbs. per 1000 s.f.)
 - d. MULCH WITH STRAW MULCH (90 lbs. per 1000 s.f.)
4. ALL DISTURBED AREAS TO BE MULCHED TO PREVENT EROSION. THE CONTRACTOR SHALL COMPLY WITH ALL REQUESTS OF THE TOWN ENGINEER OR BUILDING INSPECTOR DURING CONSTRUCTION WITH REGARD TO EROSION CONTROL DEVICES.
5. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

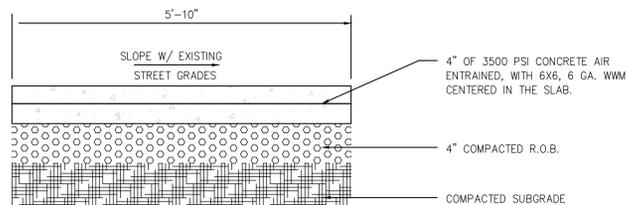


SILT FENCE DETAIL

N.T.S.

NOTES:

1. WHERE TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
3. SILT FENCE FABRIC TO BE MIRAFI 100X OR APPROVED EQUAL.
4. WOVEN WIRE FENCE (MIN. 14.5 GAUGE, MAX 6" MESH SPACING)

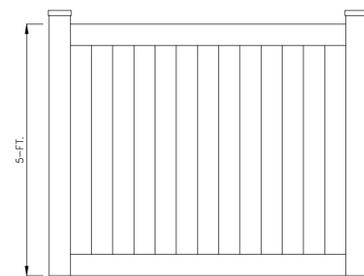


NOTES:

1. FINISH TO BE BROOM FINISH AT 90° TO EACH SUCCEEDING SLAB.
2. JOINTER TO BE 1" DEEP. JOINT SPACING SHALL BE EQUAL TO WIDTH OF WALK FOR SPACING.
3. INSTALL 1/2" PRE-MOLDED EXPANSION JOINT AT 24' O.C. AND WHERE SIDEWALK IS AGAINST CONCRETE CURBS, BUILDINGS, AND OTHER STRUCTURES.

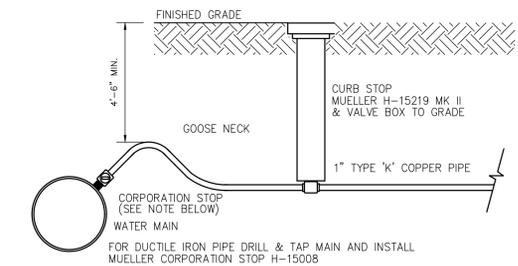
CONCRETE SIDEWALK DETAIL

N.T.S.



5-FT H X 8-FT W EARTH TONE COLOR VINYL SOLID FENCE

N.T.S.



WATER SERVICE CONNECTION DETAIL

N.T.S.

ISSUE	DATE	DESCRIPTION
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1	10/15/24	VILLAGE OF WARWICK PLANNING BOARD REVIEW

DETAILS

BOSSOLINA PROPERTY

SECTION 207 BLOCK 5 LOT 25
VILLAGE OF WARWICK
ORANGE COUNTY, NEW YORK

FRIEDLER ENGINEERING, PLLC

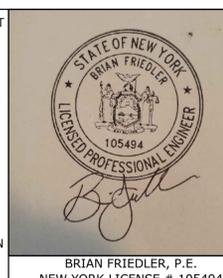
PH. 845.544.5662
9 LOCUST STREET WARWICK, NEW YORK 10990
FRIEDLERENGINEERING@OUTLOOK.COM

DRAWN BY	CHECKED BY	SCALE	JOB NO.	SHEET NO.
BjF	BjF	AS SHOWN	FE-24148	2 OF 2

APPROVED FOR FILLING:	
OWNER(S)	DATE
CHAIRMAN	DATE
VILLAGE ENGINEER	DATE

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BRIAN FRIEDLER, P.E.
NEW YORK LICENSE # 105494

APPROVED AS A FINAL SITE PLAN BY A RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WARWICK ON _____