

LOCATION MAP
SCALE: 1" = 300'

BULK REQUIREMENTS
LI ZONE
USE GROUP k***

	MIN. REQUIRED	PROPOSED
LOT AREA (SF)**	5,000	47,361±
LOT WIDTH (FT.)	50	202±
FRONT SETBACK (SF.)	11.5* (SEE NOTE 1)	14±
FRONT YARD (FT.)	N/A	N/A
SIDE SETBACK (FT.)	10	17±
TOTAL SIDE SETBACK (FT.)	10	52±
SIDE YARD (FT.)	10	10
SIDE YARD WITHIN 25' OF RESIDENCE DISTRICT BOUNDARY	N/A	N/A
REAR SETBACK (FT.)	10	159±
REAR YARD (FT.)	10	10±
REAR YARD WITHIN 25' OF RESIDENCE DISTRICT BOUNDARY	N/A	N/A
STREET FRONTAGE (FT.)	50	474±
FLOOR AREA RATIO (F.A.R.)	N/A	N/A
LOT DEPTH (FT.)	50	250±
LIVABLE FLOOR AREA/ DWELLING UNIT (SF.)	N/A	N/A
LOT AREA/ DWELLING UNIT	N/A	N/A
BEDROOMS/ACRE OF LOT AREA	N/A	N/A

	MAX. ALLOWED	PROPOSED
DEVELOPMENT COVERAGE (%)**	100	<100
BUILDING COVERAGE (%)**	N/A	17±
BUILDING HEIGHT (FT.)	40	<40

*NOTE 1 - THE REQUIRED FRONT SETBACK NEED NOT BE GREATER THAN THE AVERAGE OF THE NEAREST NEIGHBORING STRUCTURES LOCATED ON THE SAME SIDE OF THE STREET WITHIN 150 FEET OF THE PROPOSED BUILDING.

NEIGHBORING LOTS

ADDRESS	TAX LOT	FRONT SETBACK
31 FORESTER AVE	208-2-7.22	5.5±
11 FORESTER AVE	208-1-9.1	11±
9 FORESTER AVE	208-1-10.1	18±

**NOTE 4 - LOT AREA SHALL BE DEFINED IN § 145-181 FOR COLUMNS 2, 15, 15A, 19 AND 20 PER LOCAL LAW #1 OF 2001.
***NOTE 6 - 100% DEVELOPMENT COVERAGE PERMITTED ONLY WHEN PROJECT INCORPORATES A "GREEN ROOF".

GENERAL NOTES:

- VILLAGE OF WARWICK TAX MAP DESIGNATION: SEC. 208, BLK. 2, LOT 1.2.
- TOTAL AREA OF PARCEL: 47,361 S.F. PER SURVEY
- ENTIRE PARCEL IS LOCATED IN THE LI ZONING DISTRICT.
- BOUNDARY INFORMATION FROM MAP ENTITLED "SURVEY, SITE PLAN AND TOPOGRAPHY PREPARED FOR: WARWICK VALLEY 13 FORESTER, LLC" PREPARED BY: STEPHEN M. BRYK, PROFESSIONAL LAND SURVEYOR.
- PROPOSED BUILDING TO BE SERVICED BY MUNICIPAL WATER AND SEWER.
- ALL TREE CUTTING SHALL BE LIMITED TO BETWEEN NOVEMBER 1 THROUGH MARCH 31.
- CONSTRUCTION HOURS AT THE PROJECT SITE SHALL BE LIMITED TO THE HOURS OF 7:00 AM TO 7:00 PM ON WEEKDAYS AND 8:00 AM TO 7:00 PM ON WEEKENDS. THERE SHALL BE NO CONSTRUCTION ON SUNDAYS.
- THE EXISTING CHAIN LINK FENCE IS TO BE REMOVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING.
- THE TOTAL AREA OF DISTURBANCE IS 0.95 ACRES.
- SEPTEMBER 2024 SITE PLAN AMENDMENTS INCLUDE: ELIMINATION OF SIDEWALK TO FORESTER ON SOUTH SIDE OF BUILDING, ADDITION OF SIDEWALK TO FORESTER ON NORTH SIDE OF BUILDING, ELIMINATION OF RAIN GARDEN AND ADDITION OF ROOF LEADER DRAIN.

APPROVED AS A FINAL SITE PLAN BY A RESOLUTION OF THE PLANNING BOARD OF THE VILLAGE OF WARWICK ON:

CHAIRMAN _____ DATE _____
VILLAGE ENGINEER _____ DATE _____

13 FORESTER, LLC

SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK

AMENDED SITE PLAN

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC

5 St. Stephen's Lane, Warwick, NY 10990
(845) 988-0620

KIRK ROTHER, P.E. N.Y.S. REG. NO. 078053 DATE

DATE	REVISIONS
10-01-24	REV. PER AMENDMENT APPROVAL
07-18-24	REV. PER VILLAGE ENGINEER'S COMMENTS
06-04-24	REV. WALK & ADD INFO PER CLIENT REQUEST
05-28-24	REV. SIDEWALK & CURBS PER CLIENT REQUEST
01-11-24	REV. WATER SERVICE CONNECTION
01-10-24	REV. SEWER LATERAL CONNECTION
10-10-23	REV. SIDEWALKS AND DETAILS
09-07-23	REV. SAN. SEWER LATERALS & FOOTING DRAIN
08-29-23	ADD SAN. SEWER LATERAL DESIGN
06-07-23	AMENDED SITE PLAN 2ND FLOOR USE
08-04-22	REV. PER CONDITIONS OF APPROVAL
05-24-22	REV. PER VILLAGE ENGINEER'S COMMENTS
04-25-22	INITIAL PREPARATION

DATE	REVISIONS	D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
N/A	N/A	N/A	N/A	N/A	1 OF 1
20142SP	20142.0	AS NOTED			

RECORD OWNER / APPLICANT

13 FORESTER LLC
P.O. BOX 600
WARWICK, NY 10990

PARKING CALCULATIONS

MAXIMUM PARKING RECOMMENDED BY CODE:
EATING & DRINKING ESTABLISHMENT 12 SPACES PER 1,000 S.F. OF GLA
GENERAL RETAIL 3.33 SPACES PER 1,000 S.F. OF GLA
ACCESSORY APARTMENT 1 SPACE PER DWELLING UNIT

4,050 S.F. EATING & DRINKING*
(4,050 S.F. / 1,000 S.F.) x 12 = 49 SPACES

5,250 S.F. RETAIL*
(5,250 S.F. / 1,000 S.F.) x 3.33 = 18 SPACES

8 - 1 BEDROOM APARTMENT
1 SP. / DWELLING UNIT = 8 SPACES

MAX. SPACES RECOMMENDED = 75 SPACES
SPACES PROVIDED = 54 SPACES

*EATING & DRINKING PEAK PARKING DEMANDS ARE EXPECTED TO OCCUR IN THE EVENING HOURS AND WEEKENDS. RETAIL PEAK PARKING DEMANDS ARE EXPECTED TO OCCUR DURING DAYTIME BUSINESS HOURS. THE RESULT IS SHARED PARKING BETWEEN USES DURING THEIR RESPECTIVE PEAK TIMES.

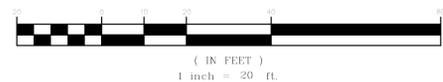
VILLAGE OF WARWICK COMPREHENSIVE PLAN

LAND USE	COMMERCIAL/RESIDENTIAL
ZONING DISTRICTS	LI
HISTORIC DISTRICTS	NO
AQUIFERS	NO
RESERVOIRS	NO
FLOOD PLAINS	NO
WETLANDS	NO
SPECIAL PLACES	NO
UNDEVELOPED LANDS	NO

LANDSCAPING NOTE:
REFER TO SEPARATE PLANTING PLANS PREPARED BY: LANDARCH STUDIOS, P.L.L.C. FOR ALL PROPOSED LANDSCAPING & DETAILS

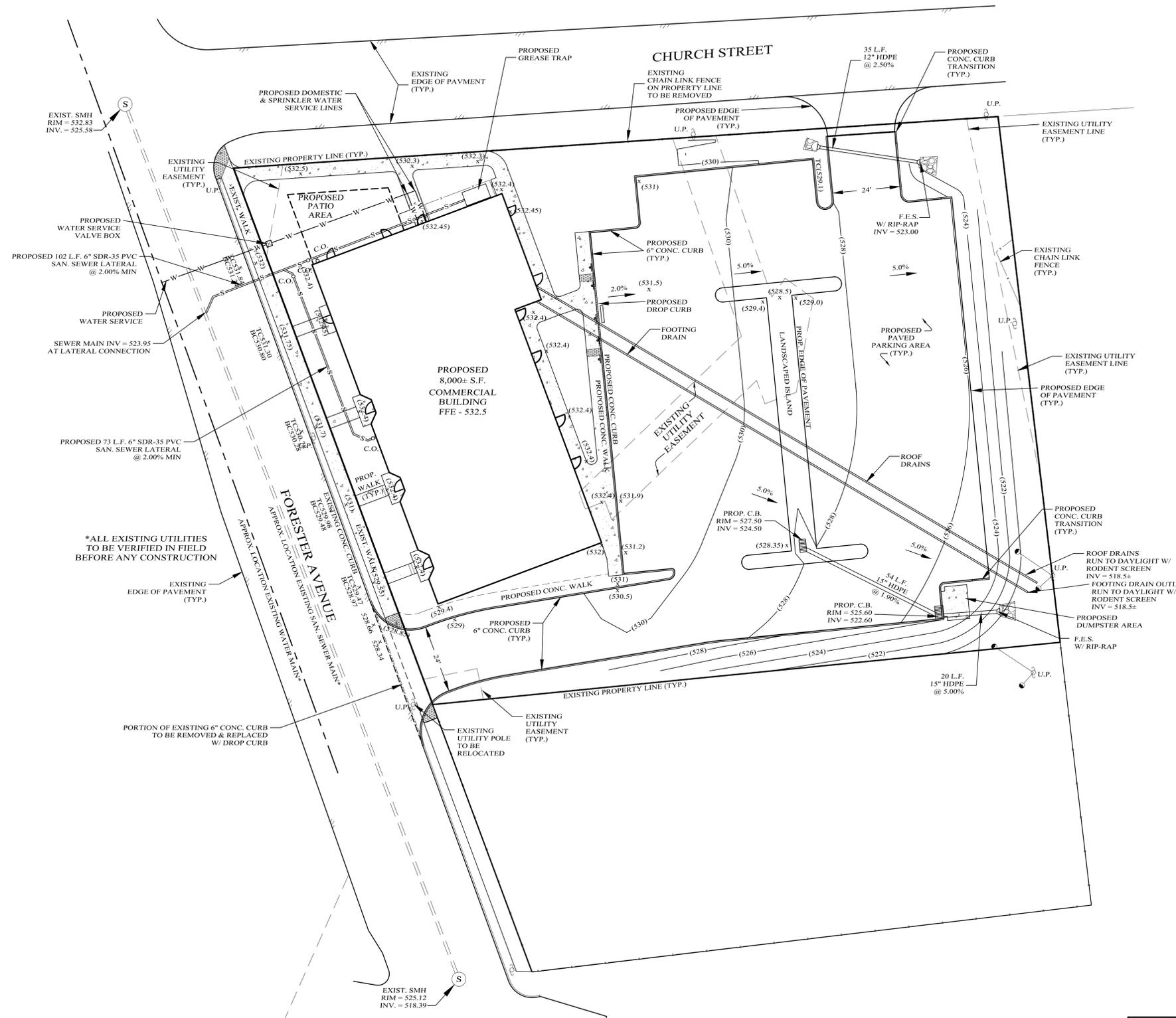
N/F REINAUER
SEC. 208, BLK 2, LOT 1.1

SITE PLAN GRAPHIC SCALE



LEGEND

EXISTING PROPERTY LINE	---
EXISTING 10' CONTOUR LINE	-----
EXISTING 2' CONTOUR LINE	-----
PROPOSED CONTOUR LINE	----- (520)
PROPOSED EDGE OF PAVEMENT	-----
EXISTING STONEWALL	-----
EXISTING FENCE	-----
EXISTING OVER HEAD UTILITIES	----- OHW
PROPOSED EDGE OF PAVEMENT	-----
PROPOSED CONC. CURB	-----
BUILDING SETBACK LINE	-----
EXISTING EASEMENT LINE	-----

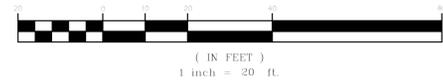


*ALL EXISTING UTILITIES TO BE VERIFIED IN FIELD BEFORE ANY CONSTRUCTION

LEGEND

EXISTING PROPERTY LINE	---
EXISTING 10' CONTOUR LINE	-----
EXISTING 2' CONTOUR LINE	-----
PROPOSED CONTOUR LINE	(520)
EXISTING EDGE OF PAVEMENT	=====
EXISTING STONEWALL	=====
EXISTING FENCE	=====
EXISTING OVER HEAD UTILITIES	-----
PROPOSED EDGE OF PAVEMENT	=====
PROPOSED CONC. CURB	=====
BUILDING SETBACK LINE	=====
EXISTING EASEMENT LINE	-----

PLAN
GRAPHIC SCALE



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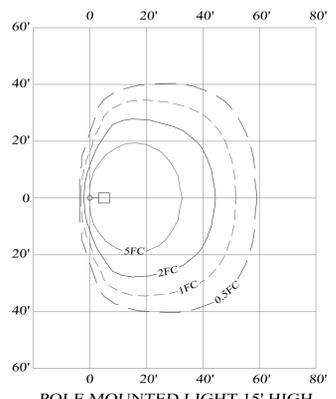
13 FORESTER, LLC
SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK
PROJECT TITLE

GRADING & UTILITY PLAN

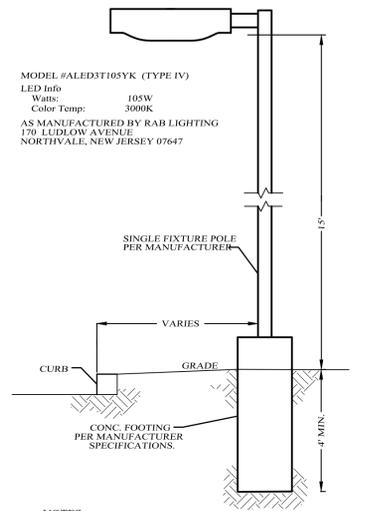
KIRK ROTHER, P.E.
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5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. REG. NO. 078053	DATE
D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #	
N.A.	N.A.	N.A.	2 OF 6	
CAD #	PROJECT #	SCALE		
20142SP	20142.0	AS NOTED		

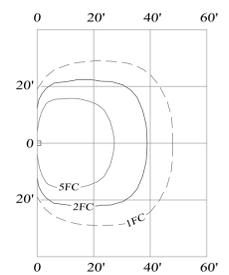
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.



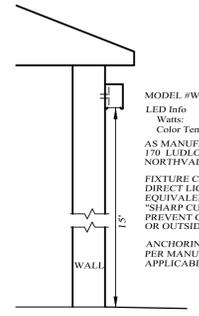
**POLE MOUNTED LIGHT 15' HIGH
ISOMETRIC FOOTPRINT**
MODEL #ALEDT105YK (TYPE IV)
AS MANUFACTURED BY RAB LIGHTING, INC



POLE MOUNTED SINGLE LIGHT DETAIL
NOT TO SCALE

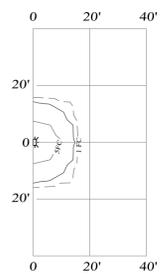


**WALL MOUNTED LIGHT 15' HIGH
ISOMETRIC FOOTPRINT**
MODEL #WPLED104Y
AS MANUFACTURED BY RAB LIGHTING, INC

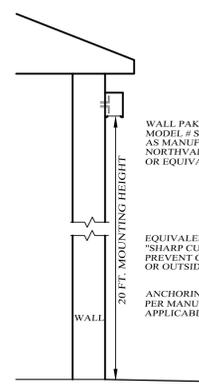


WALL MOUNTED LIGHT DETAIL
NOT TO SCALE

- LIGHTING NOTES:**
1. LIGHTING TO PROVIDE AN AVERAGE 1.0 FOOT-CANDLE LUMINESCENCE IN ALL PEDESTRIAN AREAS
 2. THERE SHALL BE NO SPILL OVER OF GLARE OUTSIDE PROPERTY LINE. FIXTURES SHALL BE EQUIPPED WITH "HOUSE SIDE SHIELDS" TO ESTABLISH A SHARP CUT-OFF OF LIGHT BEHIND THE PROPOSED FIXTURE.

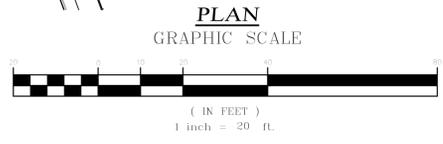
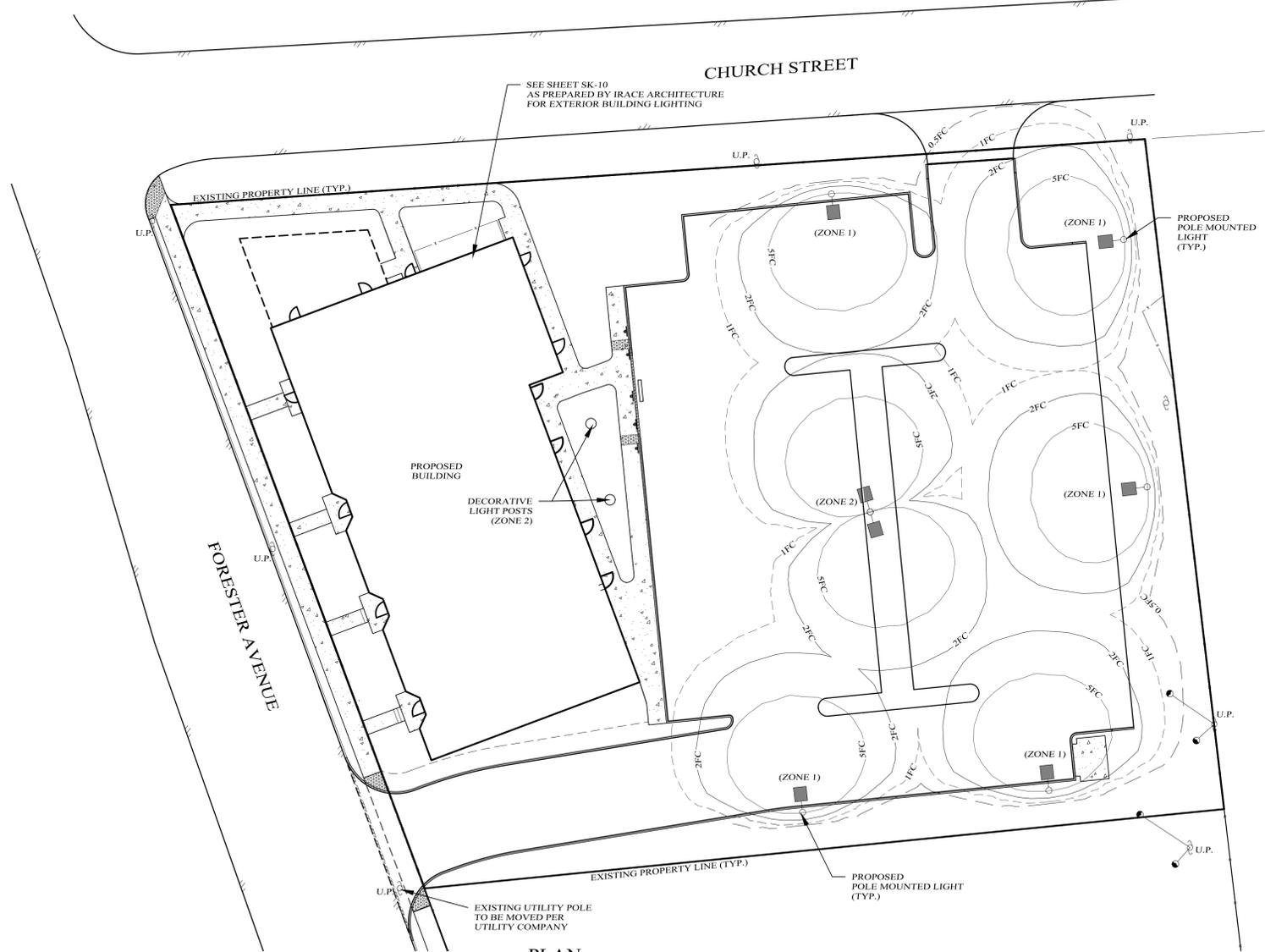


**WALL MOUNTED LIGHT 15' HIGH
ISOMETRIC FOOTPRINT**
MODEL #MODEL #SLIM 37N
AS MANUFACTURED BY RAB LIGHTING, INC



WALL MOUNTED LIGHT DETAIL
NOT TO SCALE

1. ALL ELECTRICAL COMPONENTS TO BE AS SPECIFIED BY MANUFACTURER AND INSTALLED IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES.
2. REFER TO LIGHTING PLAN FOR FIXTURE LOCATIONS.



**PLAN
GRAPHIC SCALE**

LEGEND

EXISTING PROPERTY LINE	---
EXISTING EDGE OF PAVEMENT	---
PROPOSED EDGE OF PAVEMENT	---
PROPOSED CONC. CURB	---

13 FORESTER, LLC
SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK
PROJECT TITLE

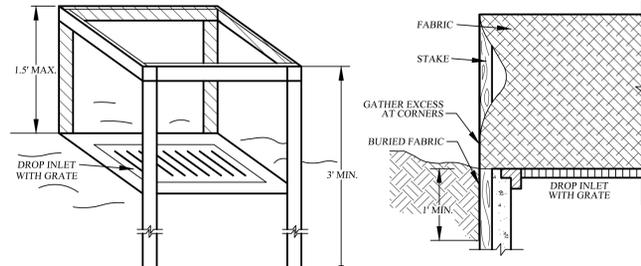
LIGHTING PLAN
DRAWING TITLE

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5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

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N.A.	N.A.	N.A.	3 OF 6
PROJECT #	SCALE		
201425P	20142.0	AS NOTED	

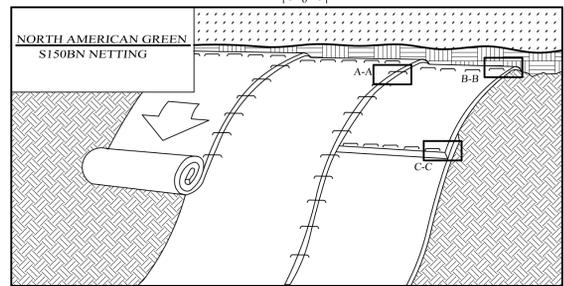
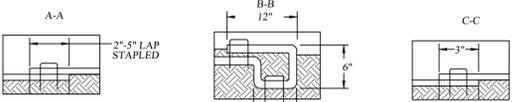
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CONSTRUCTION SPECIFICATIONS:

- 1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18" DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STABILITY.

FILTER FABRIC DROP INLET PROTECTION DETAIL
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

- 1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN. A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE ADDED PRIOR TO STABILIZATION.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6" (15 CM) DEEP x 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30 CM) OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECPs BACK OVER SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECPs.
3. ROLL THE RECPs (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2" x 5" (5 CM x 12.5 CM) OVERLAP DEPENDING ON RECPs TYPE.
5. CONSECUTIVE RECPs SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAP AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECPs WIDTH.
NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECPs.

ROLLED EROSION CONTROL MATTING SLOPE STABILIZATION DETAIL
NOT TO SCALE

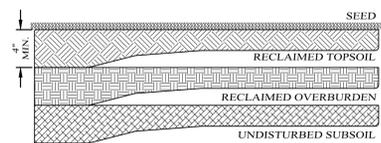
SLOPE STABILIZATION, SEEDING METHOD & MULCHING

SLOPES OF 4:1 OR GREATER (HORIZONTAL:VERTICAL) SLOPES SHALL BE HYDROSEEDING WITH THE MIXTURES AND RATES INDICATED IN THE PERMANENT SEEDING MIXTURE SCHEDULE. STRAW OR HAY MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE. STRAW OR HAY MULCH SHALL BE ANCHORED WITH 600 LBS/ACRE NETTING AS MANUFACTURED BY RoLANKA INTERNATIONAL OR APPROVED EQUIVALENT. NETTING TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

GENTLE SLOPES AND FLAT AREAS AREAS SHALL BE SEEDING BY HYDROSEEDING OR BROADCASTING WITH THE MIXTURES AND RATES INDICATED ON THE PERMANENT SEEDING MIXTURE SCHEDULE. HYDROSEEDED AREAS SHALL BE MULCHED WITH A WOOD FIBER MULCH APPLIED AT A RATE OF 500 LBS/ACRE. BROADCAST AREAS SHALL MULCHED WITH HAY OR STRAW AT A RATE OF 2 TONS/ACRE. AREAS SEEDING BY BROADCASTING SHALL BE LIGHTLY RAKED AND PACKED PRIOR TO PLACING MULCH.

LEGEND

Table with 2 columns: Symbol and Description. Includes: EXISTING PROPERTY LINE, EXISTING 10' CONTOUR LINE, EXISTING 2' CONTOUR LINE, PROPOSED CONTOUR LINE, EXISTING EDGE OF PAVEMENT, EXISTING STONEWALL, EXISTING FENCE, EXISTING OVER HEAD UTILITIES, PROPOSED EDGE OF PAVEMENT, PROPOSED CONC. CURB, BUILDING SETBACK LINE, EXISTING EASEMENT LINE.



SCARIFY SOIL TO DEPTH OF 4" TO 6" IF COMPACTED. REMOVE LARGE STONES, STUMPS, ROOTS & DEBRIS. LIME AS REQUIRED TO ACHIEVE A pH OF 6.0. FERTILIZE AT 600 LBS/ACRE OF 5-10-10 FERTILIZER, IF NEEDED. ROUGHEN TOP 4" OF SOIL, SEED AND MULCH.

RECLAMATION DETAIL
NOT TO SCALE

Table with 3 columns: FENCE PROPERTIES, MINIMUM VALUE, STANDARD. Rows include: GRAB TENSILE STRENGTH (LBS), ELONGATION AT FAILURE(%), MULLEN BURST STRENGTH (PSI), PUNCTURE STRENGTH (LBS), SLURRY FLOW RATE (GAL/MIN-SF), EQUIVALENT OPENING SIZE, ULTRAVIOLET RADIATION STABILITY (%).

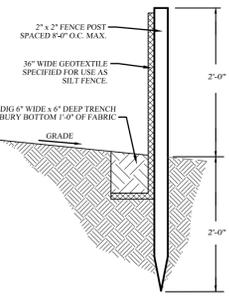
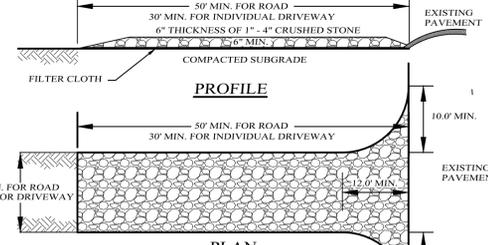


Table with 2 columns: SLOPE STEEPNESS, MAXIMUM FENCE SPACING (FT). Rows include: 2:1, 3:1, 4:1, 5:1, FLATTER THAN 5:1.

- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 2' AT TOP AND MID SECTION.
3. ALL SILT FENCES SHALL RUN PARALLEL TO THE CONTOUR OF THE LAND.
4. ALL SILT FENCING SHALL MEET THE MINIMUM REQUIREMENTS AS STATED UNLESS OTHERWISE NOTED AND APPROVED BY THE BUILDING INSPECTOR AND ENGINEER.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL SHALL BE REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

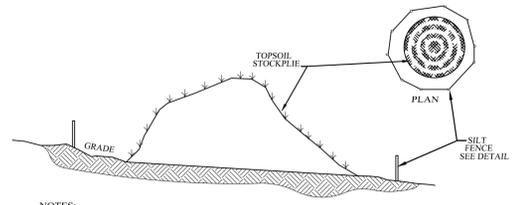
FILTER FABRIC SILT FENCE DETAIL
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

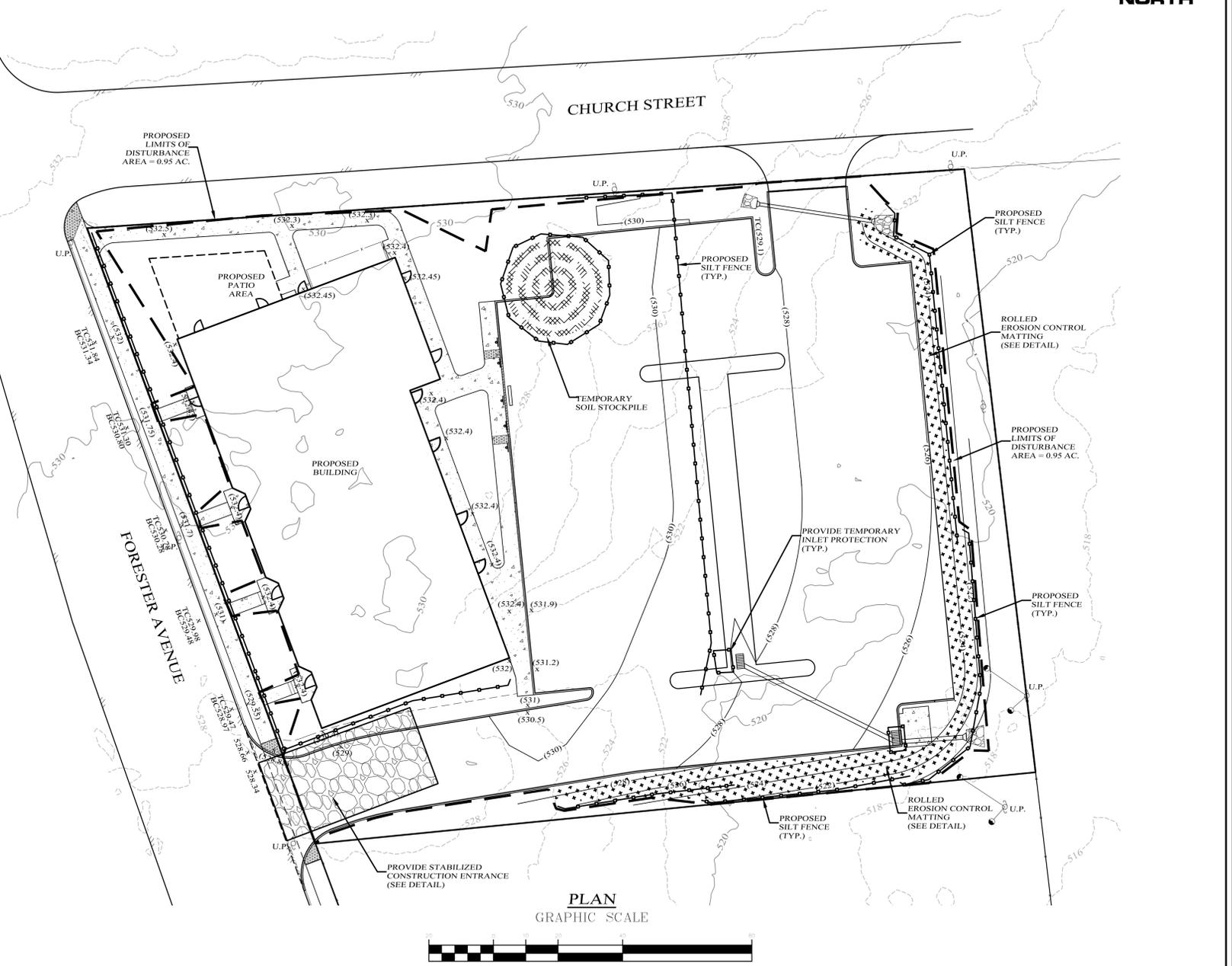
- 1. ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC ROAD. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC R.O.W. MUST BE REMOVED IMMEDIATELY.
2. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHERE A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. THE BLANKET SHALL BE COMPOSED OF 6" DEPTH OF 1"-4" CRUSHED STONE. SHALL BE AT LEAST 24" x 50' FOR THE ROAD ENTRANCE AND 12" x 30' FOR DRIVEWAYS, AND SHALL BE PLACED ON COMPACTED SUBGRADE.
3. A FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
4. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



- 1. TOPSOIL STOCKPILE TO BE SEEDING AS PER THE TEMPORARY SEEDING SPECIFICATIONS.
2. SILT FENCE TO BE INSTALLED DOWN GRADIENT OF STOCKPILE.

TOPSOIL STOCKPILE DETAIL
NOT TO SCALE



TEMPORARY SEEDING SPECIFICATIONS

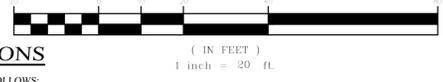
AREAS REMAINING DISTURBED FOR 14 DAYS OR MORE SHALL BE STABILIZED AS FOLLOWS: SCARIFY SOILS IF COMPACTED, LIME TO pH OF 6.0 IF REQUIRED, FERTILIZE WITH 600 LBS/ACRE 5-10-10 FERTILIZER, IF REQ., SEED WITH SPECIES AND RATE SHOWN BELOW, MULCH WITH HAY OR STRAW AT A RATE OF 2 TONS/ACRE. ANCHOR MULCH WITH NETTING OF WOOD FIBER OR JUTE IF STEEP SLOPE OR HIGH POTENTIAL FOR EROSION.

Table with 2 columns: Species and Application Rate. Includes: RYEGRASS (ANNUAL OR PERENNIAL), (USE WINTER RYE IF SEEDING IN OCT.-NOV.), 30 LBS/ACRE (0.7 LBS/1000 SF).

PERMANENT SEEDING MIXTURES

Table with 3 columns: Species, Application Rate, and Notes. Includes: MODERATE TO STEEP SLOPES AND LOW MAINTENANCE AREAS, SUNNY SITES (WELL, MODERATELY WELL AND SOMEWHAT POORLY DRAINED SOILS), SUNNY DROUGHTY SITES (SOMEWHAT TO EXCESSIVELY DRAINED SOILS).

- SITE PREPARATION
A. INSTALL NEEDED WATER AND EROSION CONTROL MEASURES AND BRING AREA TO BE SEEDING TO DESIRED GRADES USING A MINIMUM OF 4" OF TOPSOIL.
B. PREPARE SEED BED BY LOOSENING SOIL TO A DEPTH OF 4-6 INCHES.
C. LIME TO A pH OF 6.5.
D. FERTILIZE PER SOIL TESTS, OR, IF FERTILIZER IS TO BE APPLIED BEFORE SOIL TESTS, APPLY 850 POUNDS OF 5-10-10 OR EQUIVALENT PER ACRE (20 LBS./1000 SQ. FT.)
E. INCORPORATE LIME AND FERTILIZER IN TOP 2.4 INCHES OF SOIL.
F. SMOOTH. REMOVE ALL STONES OVER 1" IN DIAMETER, STICKS AND FOREIGN MATTER. FIRM SEED BED.
G. APPLY SEED PER PERMANENT SEEDING SCHEDULE.



13 FORESTER, LLC

SEC. 208, BLK. 2, LOT 1.2 VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK PROJECT TITLE

EROSION CONTROL PLAN

DRAWING TITLE

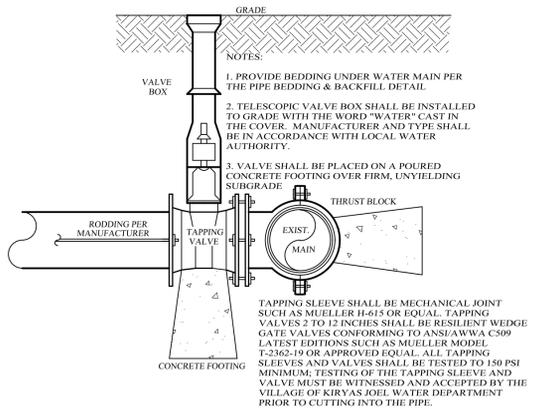
KIRK ROTHER, P.E. CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990 (845) 988-0620

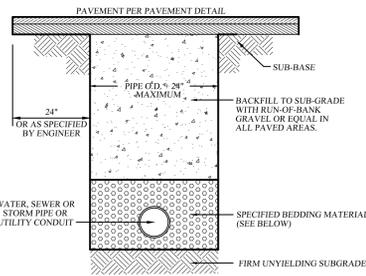
Table with 2 columns: DATE and REVISIONS. Includes: 06-04-24 REV. WALK & ADD INFO PER CLIENT REQUEST, 05-24-22 REV. PER VILLAGE ENGINEER'S COMMENTS, 04-25-22 INITIAL PREPARATION.

Table with 4 columns: D.O.T. SHEET #, D.E.C. SHEET #, O.C.S.D. SHEET #, SHEET #. Includes: N.A., N.A., N.A., 4 OF 6.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.

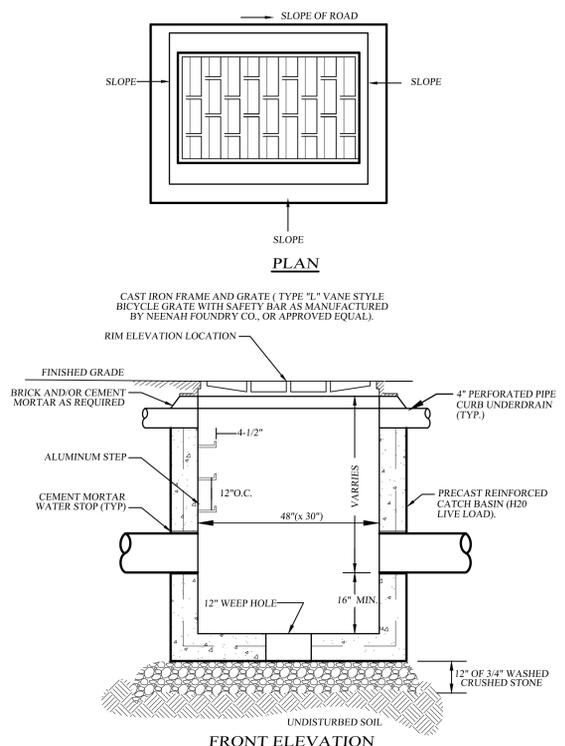


WATER MAIN TAPPING VALVE DETAIL
NOT TO SCALE



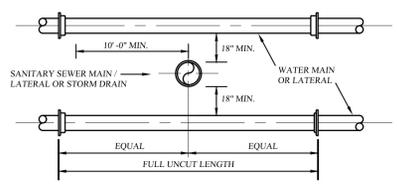
- MATERIALS**
- | | |
|--|---|
| PIPE ZONE BEDDING MATERIAL: | PIPE ZONE BACKFILL MATERIAL: |
| 1. WATER MAINS: SAND OR RUN-OF-BANK GRAVEL, AS APPROVED BY SOILS ENGINEER. | 1. WATER MAINS: ON-SITE MATERIAL FREE OF STONE, CLAY, FOREIGN MATERIAL OR FROZEN EARTH AS APPROVED BY SOILS ENGINEER. |
| 2. SEWER MAINS: 1/4" CRUSHED STONE. | 2. SEWER MAINS: 1/4" CRUSHED STONE. |

PIPE BEDDING AND BACKFILL DETAIL
NOT TO SCALE



- NOTES:**
- BACKFILL AROUND CATCH BASIN TO BE COMPACTED IN MAX. 8" LIFTS.
 - THE ENDS OF ALL PIPES SHALL BE CUT OFF FLUSH WITH THE INSIDE SURFACE OF CATCH BASIN AND ADEQUATELY MORTARED.
 - PRECAST CONCRETE TO BE 4000 PSI @ 28 DAYS.

PRECAST CONCRETE CURB INLET DETAIL
NOT TO SCALE



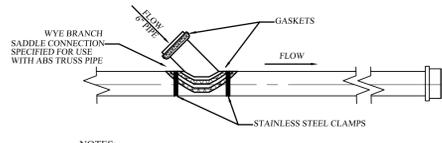
VERTICAL SEPARATION DETAIL
NOT TO SCALE



HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

NOTES: THE SEPARATION REQUIREMENT SHALL CONFORM TO CURRENT ORANGE COUNTY DEPARTMENT OF HEALTH STATUTES, CODES, RULES, REGULATIONS AND LAWS AS THEY APPLY. ANY DEVIATION FROM THE ABOVE SEPARATION REQUIREMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS
NOT TO SCALE



NOTES:

- INSTALLATION AND MATERIALS OF THE SADDLE CONNECTION TO CONFORM WITH THE VILLAGE OF WARWICK SEWER DEPT. CRITERIA. THERE WILL BE NO DEVIATION FROM THE APPROVED PLAN WITHOUT WRITTEN APPROVAL FROM THE VILLAGE OF WARWICK.

SECTION SADDLE CONNECTION DETAIL
NOT TO SCALE

13 FORESTER, LLC
SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK
PROJECT TITLE

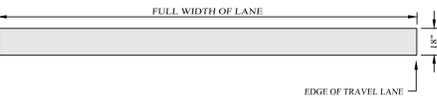
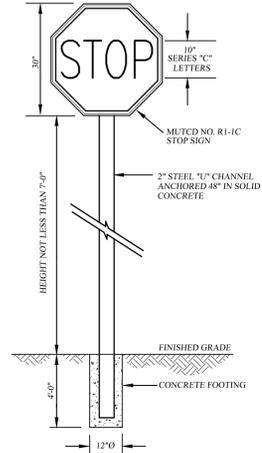
DRAINAGE & SANITARY DETAILS
DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC
5 St. Stephen's Lane, Warwick, NY 10990
(845) 988-0620

DATE	REVISIONS
06-04-24	REV. WALK & ADD INFO PER CLIENT REQUEST
08-29-23	ADD SAN. SEWER LATERAL DESIGN
05-24-22	REV. PER VILLAGE ENGINEER'S COMMENTS
04-25-22	INITIAL PREPARATION

DATE	REVISIONS	D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #
		N.A.	N.A.	N.A.	5 OF 6
		20142SP	20142.0	AS NOTED	

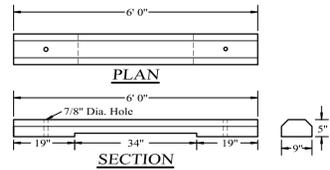
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A DOCUMENT BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. REPRODUCTIONS OF THIS PLAN WHICH DO NOT BEAR THE ORIGINAL SEAL OF A LICENSED PROFESSIONAL ENGINEER SHALL BE CONSIDERED INVALID.



- NOTES:
1. INSTALLATION AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN SECTION 660 OF NYS DOT STANDARDS AND SPECIFICATIONS, LATEST REVISION.
 2. PAVEMENT SURFACE TO BE CLEANED AND PREPARED PRIOR TO PLACEMENT OF PAVEMENT MARKINGS IN ACCORDANCE WITH SECTION 653 OF NYS DOT STANDARDS AND SPECIFICATIONS.
 3. REFER TO APPROVED PLANS FOR ACTUAL LOCATION OF STOP LINE, SIZE AND LOCATION TO CONFORM TO MUTCD STANDARDS.
 4. PAVEMENT MARKINGS TO BE WHITE MARKING PAINT.

STOP BAR AND SIGN DETAIL

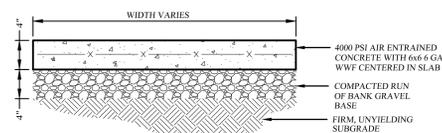
NOT TO SCALE



- NOTES:
1. PRE-CAST CONCRETE PARKING BUMPER MODEL SBB AS MANUFACTURED BY WOODARD'S CONCRETE PRODUCTS, INC.
 2. PRECAST CONCRETE TO BE 4000 PSI @ 28 DAYS

CONCRETE PARKING BUMPER

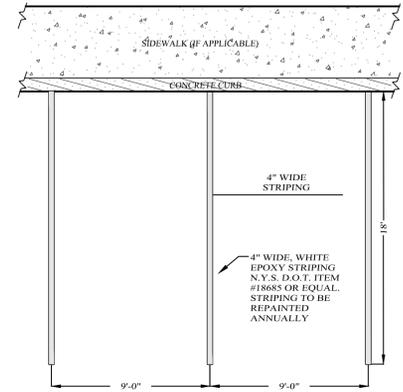
NOT TO SCALE



- NOTES:
1. SIDEWALKS SHALL BE CAST IN PLACE CONCRETE WITH 1" DEEP JOINTS INSTALLED AT SPACING EQUAL TO THE SIDEWALK WIDTH.
 2. CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS SHALL BE INSTALLED 20 FEET ON CENTER. IF THE SIDEWALK IS POURED AGAINST CONCRETE CURBS, BUILDINGS OR OTHER STRUCTURES, AN EXPANSION JOINT SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF CONTACT. SIDEWALKS SHALL SLOPE AWAY FROM BUILDINGS TO PROVIDE POSITIVE DRAINAGE AND CONFORM TO THE LATEST REVISIONS OF ALL APPLICABLE REGULATORY STANDARDS INCLUDING THE AMERICANS WITH DISABILITIES ACT.
 3. MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.
 4. SIDEWALK SURFACE TO BE A BROOM FINISH WITH GROOVES RUNNING PERPENDICULAR TO THE LENGTH OF SIDEWALK.

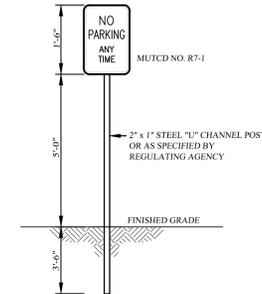
CONCRETE SIDEWALK DETAIL

NOT TO SCALE



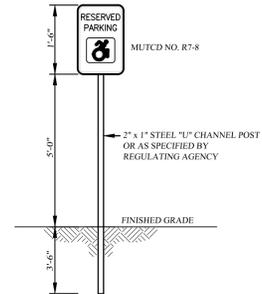
PARKING SPACE STRIPING DETAIL

NOT TO SCALE



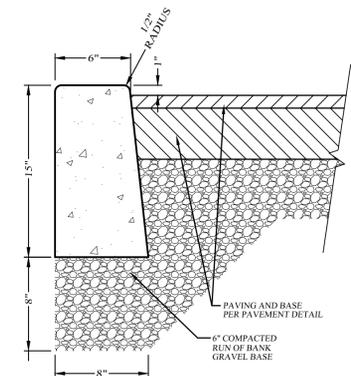
"NO PARKING ANY TIME" SIGN DETAIL

NOT TO SCALE



"RESERVED PARKING" SIGN DETAIL

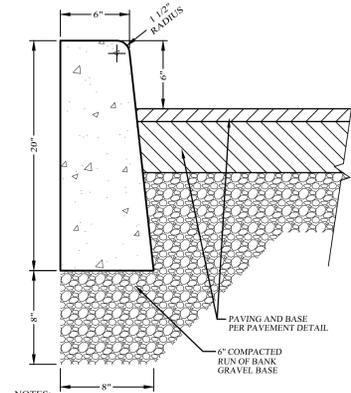
NOT TO SCALE



- NOTES:
1. CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
 2. MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.

CONCRETE DROP CURB DETAIL

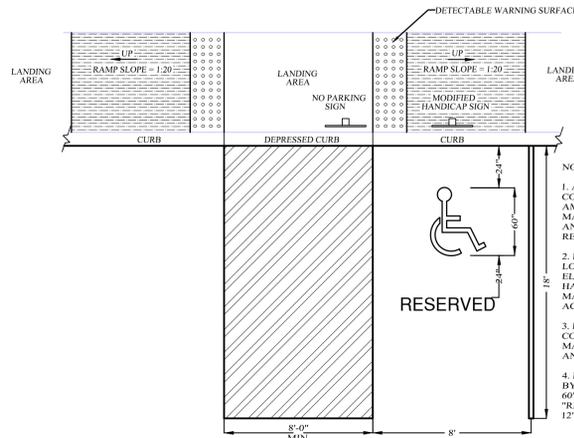
NOT TO SCALE



- NOTES:
1. CURB SHALL BE CAST IN PLACE CONCRETE WITH CELLULOSE, OR EQUIVALENT, EXPANSION JOINTS INSTALLED AT TEN (10) FOOT INTERVALS.
 2. MIX DESIGN SHALL BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE GUIDELINES FOR CONCRETE EXPOSED TO FREEZING, THAWING AND DE-ICING CHEMICALS. CONCRETE SHALL HAVE A WATER-CEMENTITIOUS RATIO OF 0.45 AND AIR ENTRAINMENT OF 4 1/2% FOR A 1" NOMINAL AGGREGATE SIZE. CONCRETE TO TEST 4000 PSI AT 28 DAYS.

CONCRETE CURB DETAIL (WITHIN SITE)

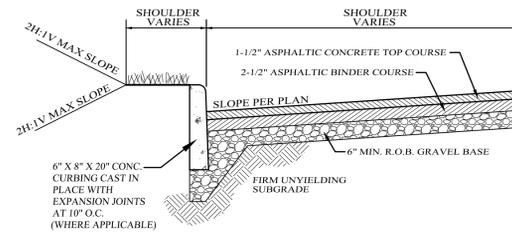
NOT TO SCALE



HANDICAPPED PARKING DETAIL

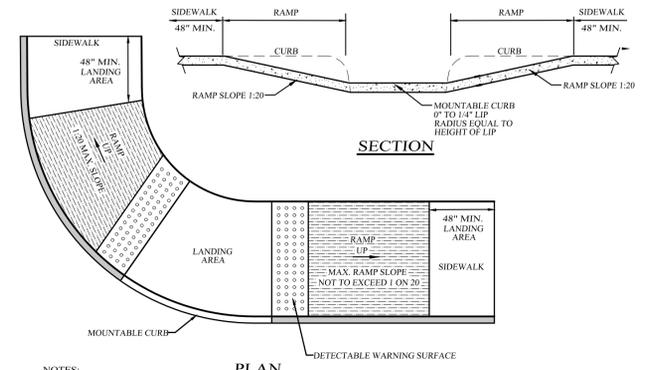
NOT TO SCALE

- NOTES:
1. ALL HANDICAP MARKINGS SHALL CONFORM TO THE LATEST REVISION OF THE AMERICANS WITH DISABILITIES ACT, MANUAL OF TRAFFIC CONTROL DEVICES AND ALL OTHER APPLICABLE RULES AND REGULATIONS.
 2. HANDICAPPED PARKING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ELEVATORS, RAMP, WALKWAYS, AND HANDICAP ACCESSIBLE ENTRANCES. MAXIMUM DISTANCE FROM HANDICAP ACCESSIBLE ENTRANCES SHALL BE 200'.
 3. HANDICAP PARKING SPACES SHALL BE CONSTRUCTED NEARLY LEVEL WITH THE MAXIMUM SLOPE NOT TO EXCEED 1:48 IN ANY DIRECTION.
 4. EACH PARKING SPACE SHALL BE MARKED BY A HANDICAP SIGN, PAINTED, 54" WIDE X 60" HIGH HANDICAP SYMBOL AND PAINTED "RESERVED" LETTERING. LETTERING TO BE 12" HIGH AND STRIPING SHALL BE 6" WIDE.



TYPICAL PAVEMENT SECTION (WITHIN SITE)

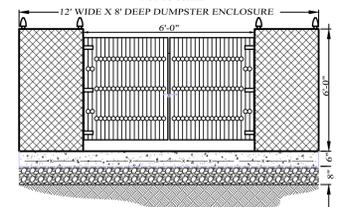
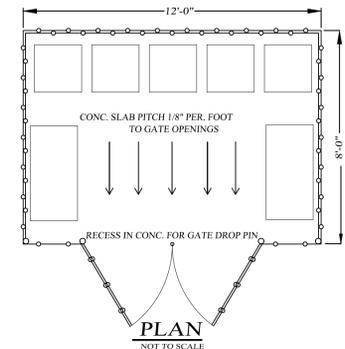
NOT TO SCALE



- NOTES:
1. CONSTRUCTION OF ALL HANDICAP ACCESSIBLE FEATURES SHALL CONFORM TO ALL APPLICABLE REGULATORY STANDARDS.

DROP CURB HANDICAPPED ACCESSIBLE RAMP DETAIL

NOT TO SCALE



- NOTES:
1. DUMPSTER PAD TO BE 6" THICK 3000 PSI CONCRETE WITH WELDED WIRE MESH REINFORCEMENT. PAD SHALL BE PLACED ON 8" BED OF COMPACTED 2" GRAVEL.
 2. DUMPSTER ENCLOSURE TO BE CONSTRUCTED OF 6" CHAIN LINK FENCE WITH PRIVACY INSERTS.
 3. ENCLOSURE TO BE CONSTRUCTED ACCORDING TO VILLAGE BUILDING CODE REQUIREMENTS.
 4. ALL FENCE COMPONENTS, INCLUDING FABRIC, POSTS, RAILS, ETC. SHALL HAVE A THERMALLY FUSED PVC COATED FINISH. COLOR SHALL BE DARK GREEN OR BLACK.
 5. DUMPSTERS INSIDE ENCLOSURE SHALL NOT BE VISIBLE.

CHAIN LINK FENCE DUMPSTER ENCLOSURE

NOT TO SCALE

13 FORESTER, LLC

SEC. 208, BLK. 2, LOT 1.2
VILLAGE OF WARWICK, ORANGE COUNTY, NEW YORK

PROJECT TITLE

SITE DETAILS

DRAWING TITLE

KIRK ROTHER, P.E.
CONSULTING ENGINEER, PLLC

5 St. Stephens Lane, Warwick, NY 10990
(845) 988-0620

DATE	REVISIONS
07-18-24	REV. PER VILLAGE ENGINEER'S COMMENTS
10-10-23	REV. SIDEWALKS AND DETAILS
04-25-22	INITIAL PREPARATION

DATE	REVISIONS	KIRK ROTHER, P.E.	N.Y.S. LIC. NO. 078053	DATE
D.O.T. SHEET #	D.E.C. SHEET #	O.C.S.D. SHEET #	SHEET #	
N.A.	N.A.	N.A.		
PROJECT #	SCALE			
20142SP	20142.0	AS NOTED		

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